

QUALIFICATION INFORMATION

REGUIRED UNLESS DESIGN IS EXEMPT UNDI D V BION C-3.2.5.1. OF THE 2006 ON ABIO BULDING CODE OR 2.T.A.1. OF THE 100 CNTARIC BULDING CODE) NAME JOINTAIN HATCH BCIN 37521 REGISTRATION INFORMATION

#### GENERAL NOTES

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- ALL DRAWINGS SPECIFICATIONS & DETAILS
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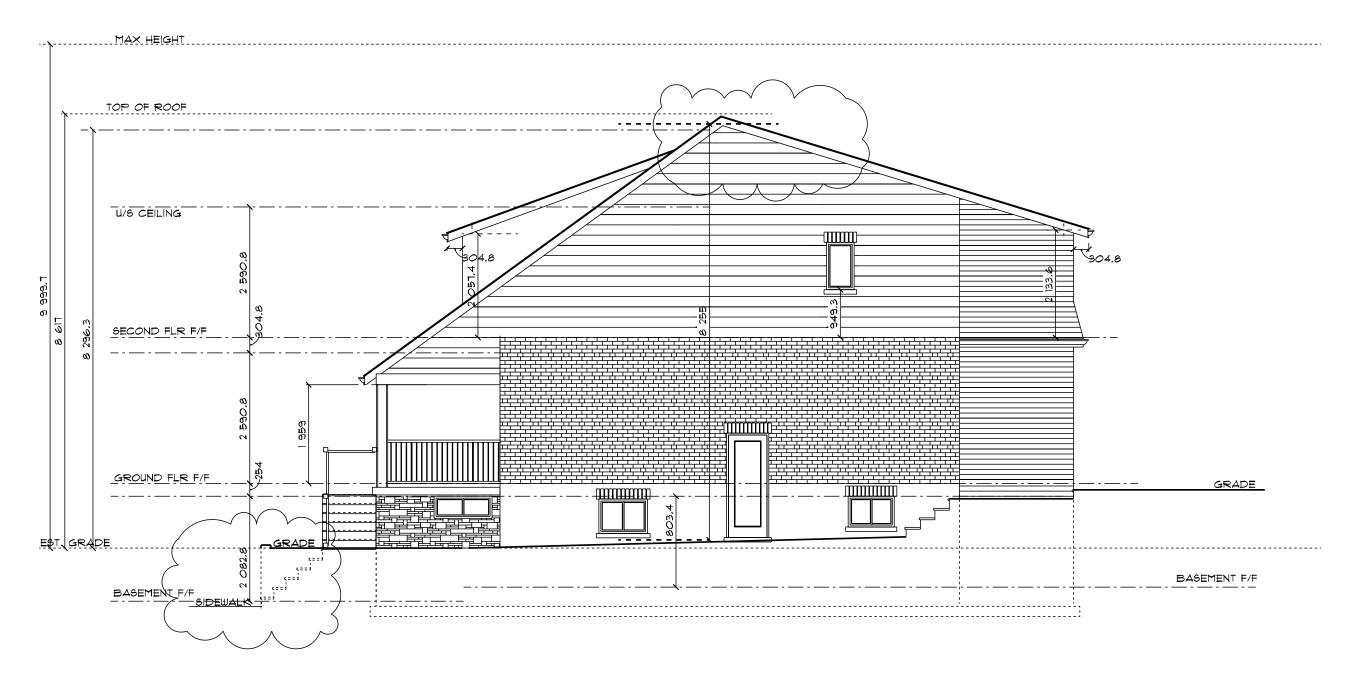
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### EX EAST ELEVATION

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EX EAST ELEVATION DWN BY 2022-05-12 SCALE

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1238 DAVENPORT RD

PROJECT

SHT No HATCH DWG No 416 333 0941 ion@hatchdesigns.ca THE UNDERBIGNED HAS REVIEWED

4 TAKES RESPONSIBILITY FOR THIS
DEBIGN, AND HAS THE GUALIFICATIONS
REQUIRED UNLESS DEBIGN IS
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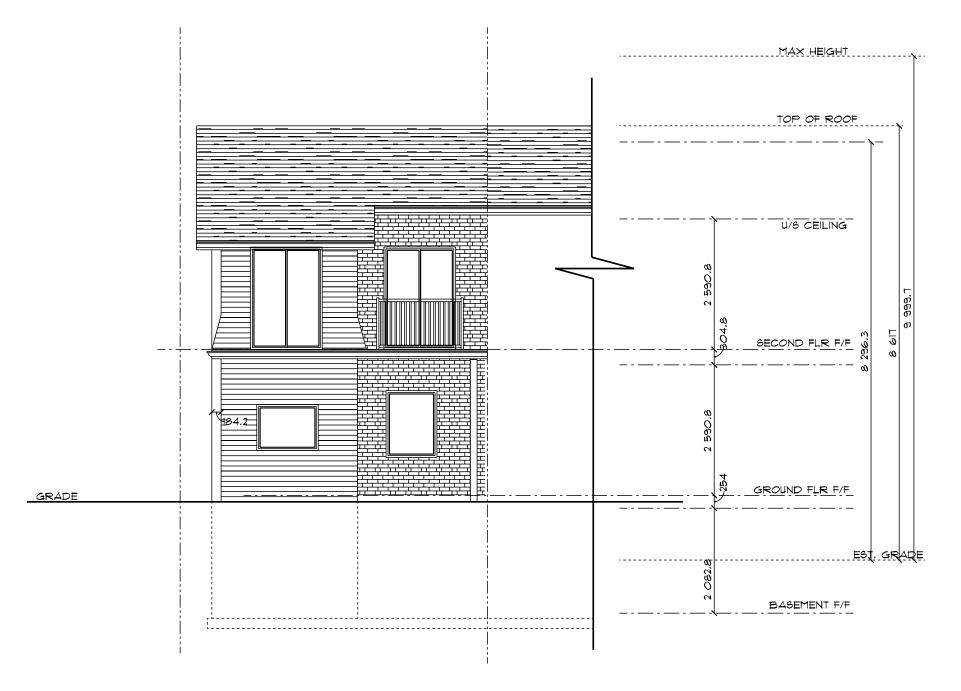
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### EX NORTH ELEVATION

SCALE: 1:75

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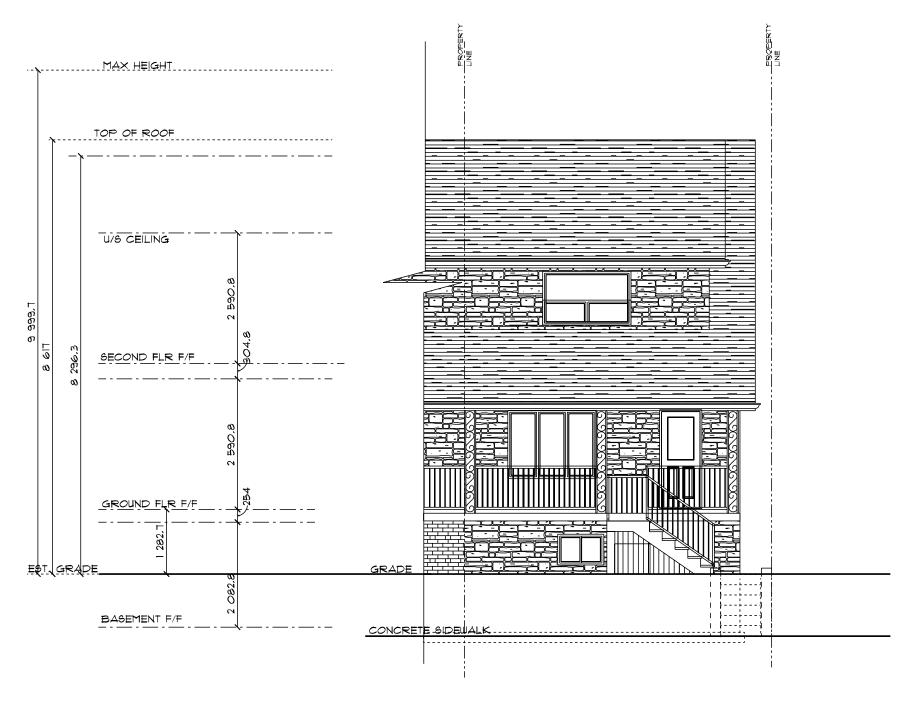
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### EX SOUTH ELEVATION

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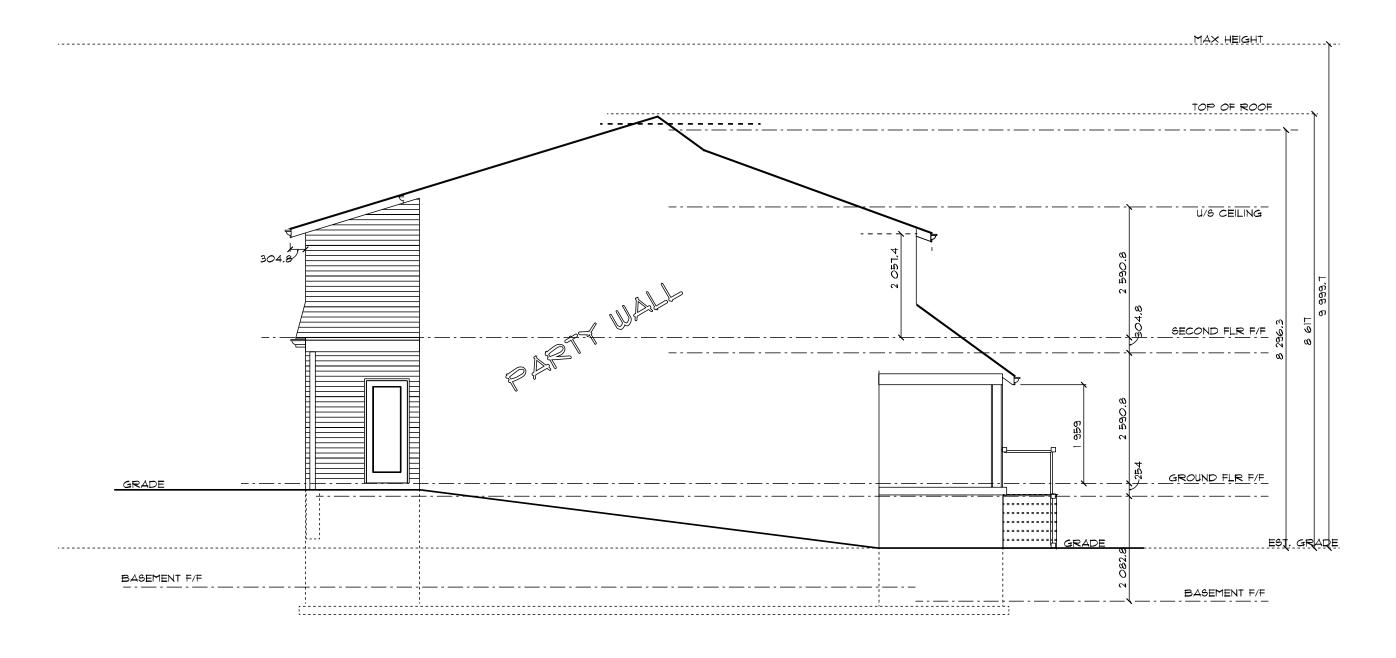
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### EX WEST ELEVATION

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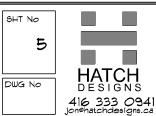
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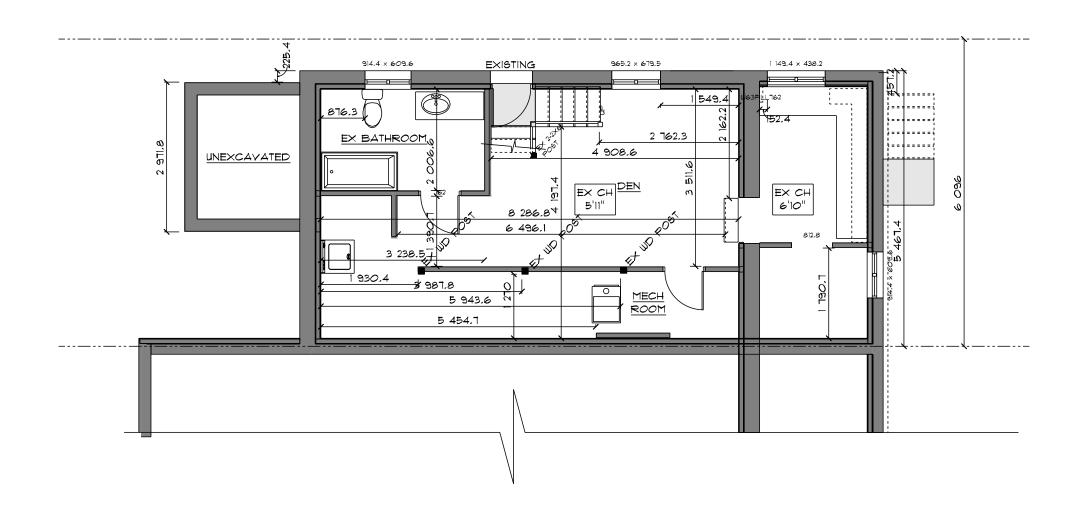
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# EX BASEMENT

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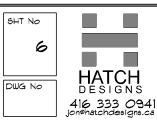
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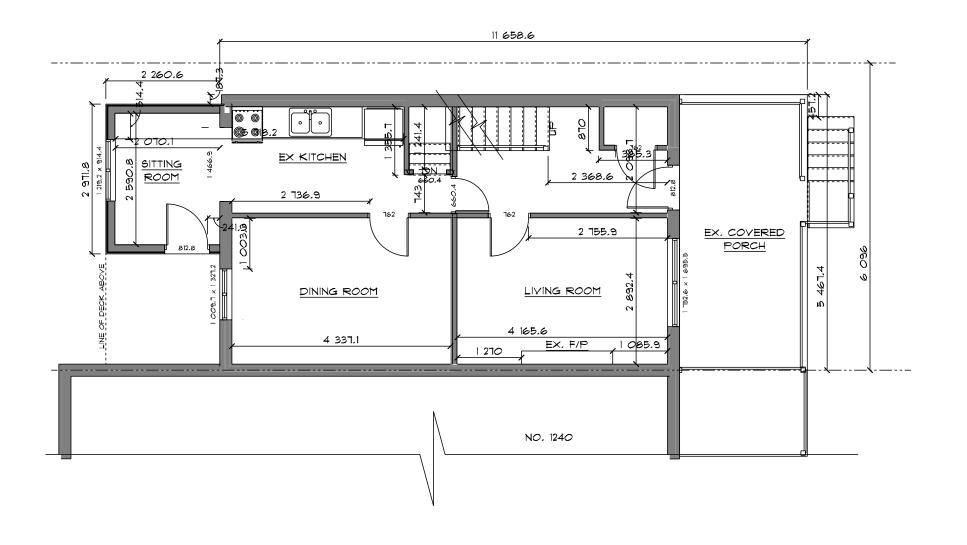
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## EX GROUND FLOOR

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### WALL SCHEDULE PROPOSED INTERIOR WOOD FRAME PARTITIONS- AS MARKED EXISTING INTERIOR WOOD FRAME PARTITIONS- AS MARKED EXISTING MASONRY WALLS- AS MARKED PROPOSED EXTERIOR FRAME WALLS, SIDING/STUCCO - AS MARKED PROPOSED EXTERIOR FRAME WALLS WITH BRICK VENEER - AS MARKED

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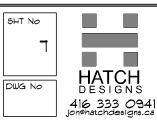
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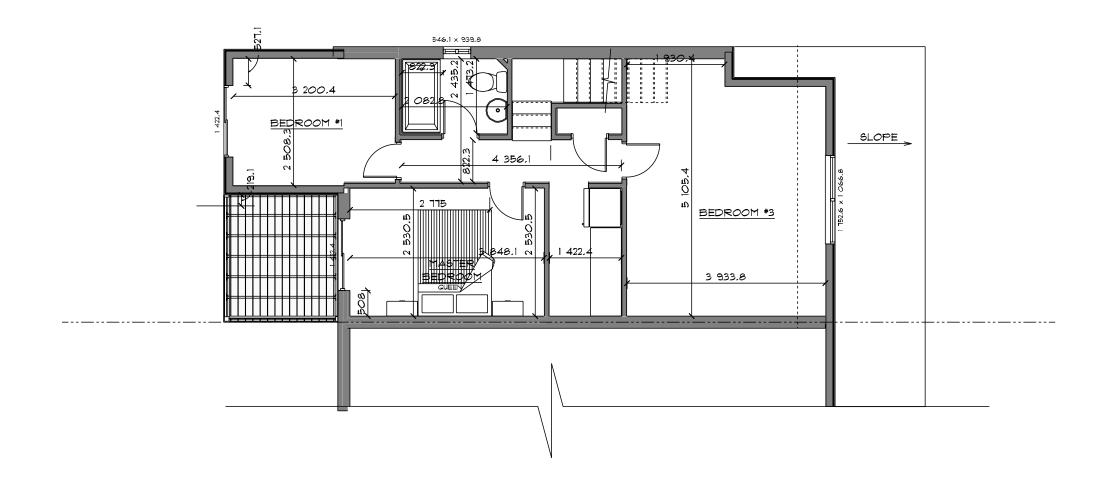
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### EX SECOND FLOOR

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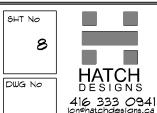
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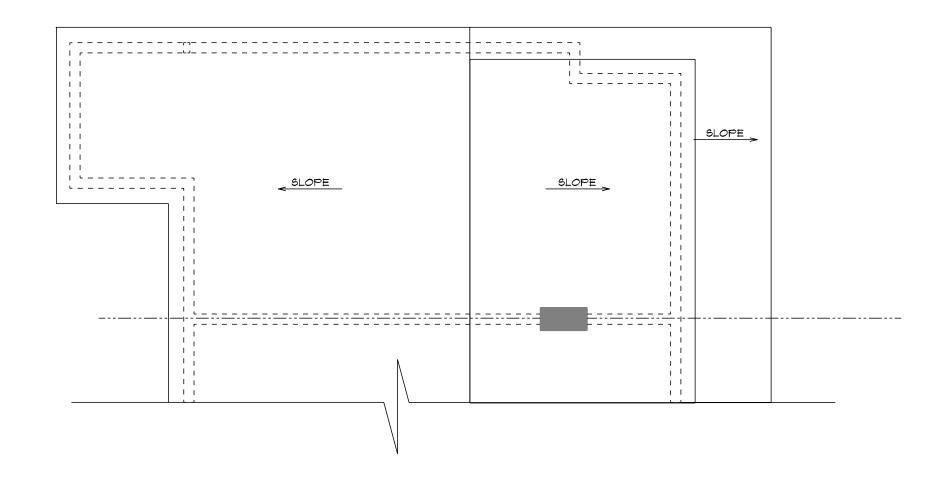
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PROPOSED EXTERIOR FRAME

WALLS WITH BRICK VENEER - AS MARKED

EXISTING MASONRY WALLS- AS MARKED

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# EX ROOF PLAN

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WALL SCHEDULE

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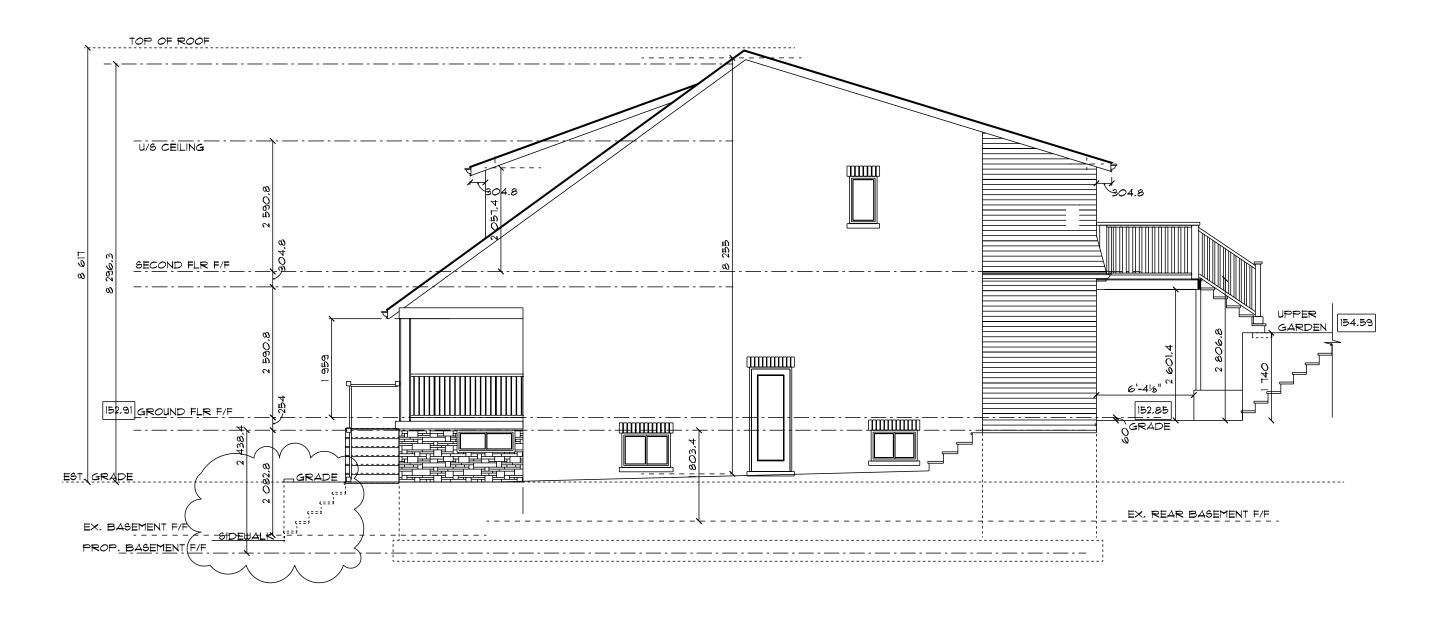
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NAME JONATHAN HATCH BCIN 3732I



### PROP EAST ELEVATION

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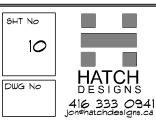
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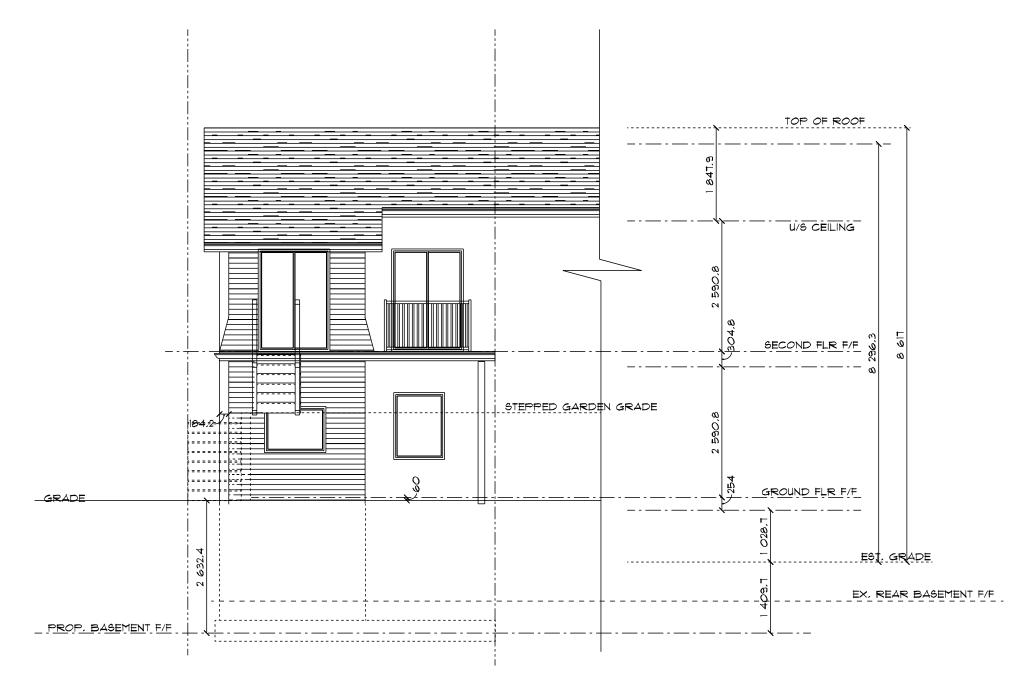
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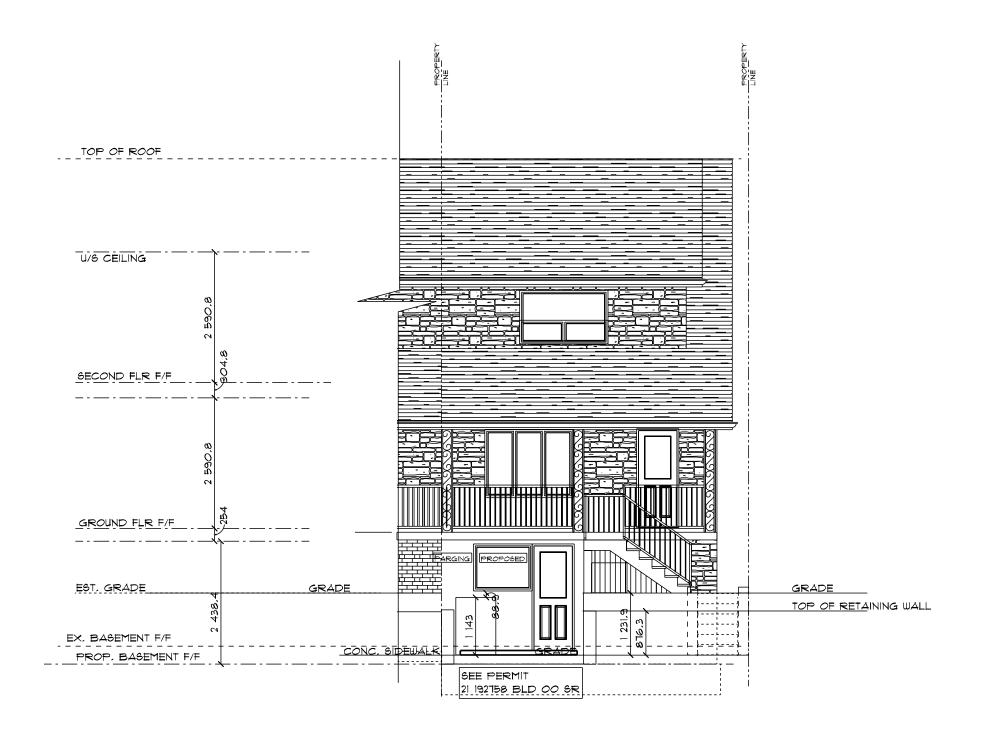
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1:75 416 333 0941 jon@hatchdesigns.ca NAME JONATHAN HATCH



### PROP SOUTH ELEVATION

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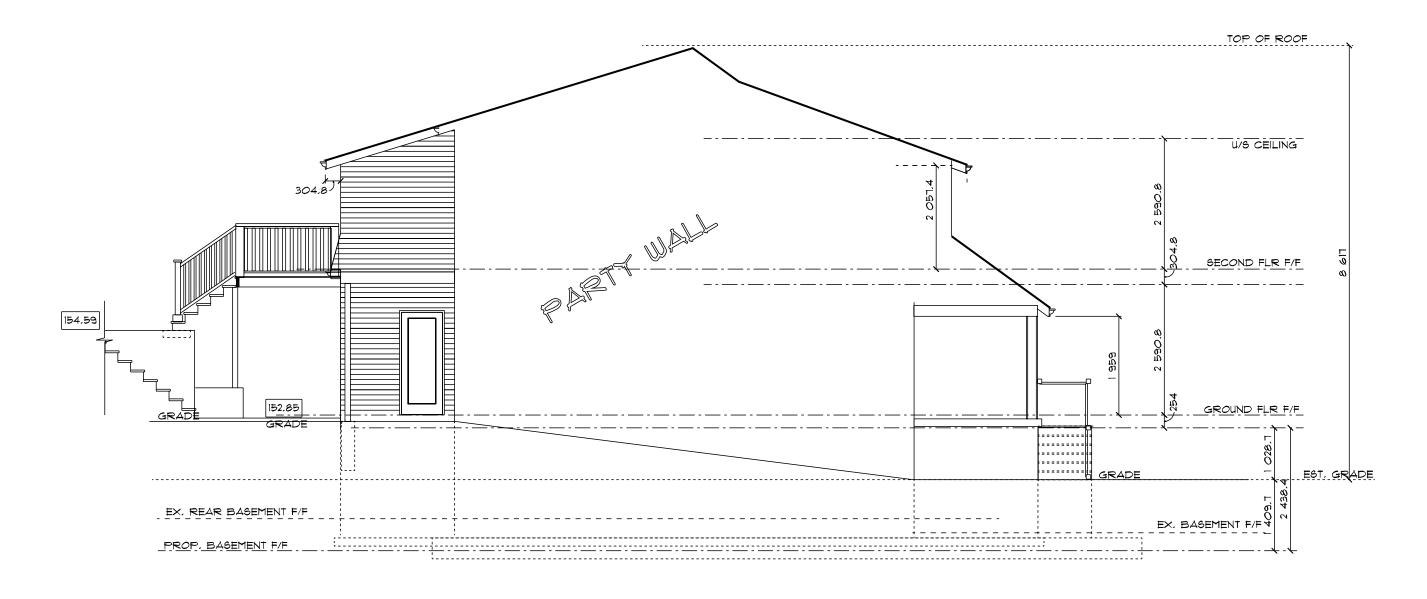
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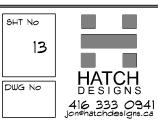
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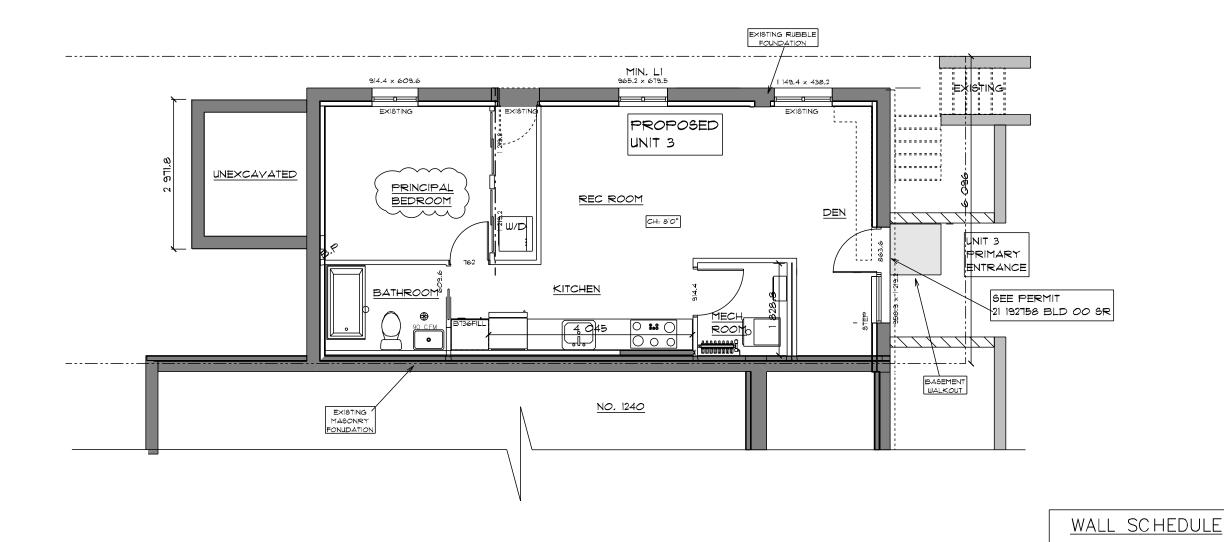
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### PROP BASEMENT PLAN

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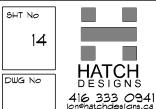
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PROPOSED INTERIOR WOOD FRAME PARTITIONS- AS MARKED EXISTING INTERIOR WOOD FRAME PARTITIONS- AS MARKED

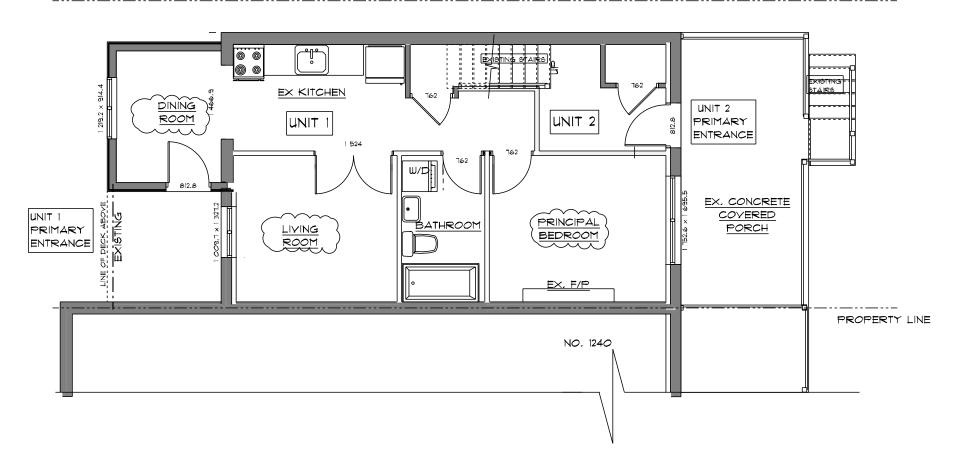
PROPOSED EXTERIOR FRAME

PROPOSED EXTERIOR FRAME

WALLS, SIDING/STUCCO - AS MARKED

WALLS WITH BRICK VENEER - AS MARKED

EXISTING MASONRY WALLS- AS MARKED



### PROP GROUND FLOOR

SCALE: 1:75

#### GENERAL NOTES

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-Drawings are not to be copied are issued and received. Those or altered without the express

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	DO NOT SCALE DRAWINGS						

DETAIL PROP.	GROUND FLOOR	PROJECT
DWN BY	DATE 2022-05-12	1238 DAVENPORT RD
SCALE		
	1:75	

### SHT NO 15 **HATCH** DWG No

DESIGNS 416 333 0941 ion@hatchdesigns.ca THE UNDERBIGNED HAS REVIEWED

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WALL SCHEDULE

PROPOSED INTERIOR WOOD FRAME PARTITIONS- AS MARKED EXISTING INTERIOR WOOD FRAME PARTITIONS- AS MARKED

PROPOSED EXTERIOR FRAME WALLS, SIDING/STUCCO - AS MARKED

PROPOSED EXTERIOR FRAME

EXISTING MASONRY WALLS- AS MARKED

WALLS WITH BRICK VENEER - AS MARKED

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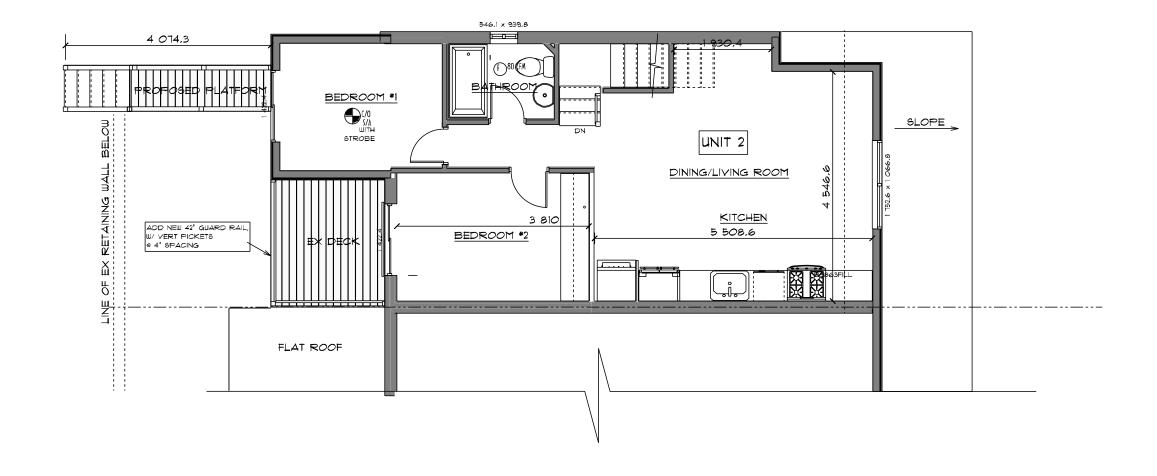
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### PROP SECOND FLOOR

SCALE: 1:75

#### GENERAL NOTES

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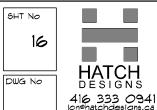
DO NOT SCALE DRAWINGS

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1238 DAVENPORT RD



WALL SCHEDULE

PROPOSED INTERIOR WOOD FRAME PARTITIONS- AS MARKED EXISTING INTERIOR WOOD FRAME PARTITIONS- AS MARKED

PROPOSED EXTERIOR FRAME

PROPOSED EXTERIOR FRAME

WALLS, SIDING/STUCCO - AS MARKED

WALLS WITH BRICK VENEER - AS MARKED

EXISTING MASONRY WALLS- AS MARKED

NAME JONATHAN HATCH

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#### CONSTRUCTION NOTES

ROOF CONSTRUCTION 1 ROOF SHEATHING & APPLICATION SHALL COMPLY WITH O.B.C. 9.23.15 FASCIA, EAVES AND TROUGHS TO BE ALL ALUMINUM UNLESS OTHERWISE NOTED

ROOF VENTILATION ROOFS WITH ATTICS 1:300 WITH 50% @ EAVES FLAT OR CATHEDRAL 1:150

2 ROOF INSULATION R50 AS PER OBC. SB-12 UNLESS OTHERWISE SHOWN NOTE FLAT ROOFS AND CATHEDRALS ARE AS MARKED

3 EXTERIOR FRAME WALL CONSTRUCTION FINISH IS AS MARKED ON ELEVATIONS 1/2 EXTERIOR SHEATHING 2 X 6 STUDS @ 16" O/S STANDARD R 24 INSULATION 6 MIL AIR / VAPOUR BARRIER EXTERIOR AIR BARRIER MAY BE PROVIDED IN PLACE OF INTERIOR AIR BARRIER 1/2 INT DRYWALL (5/8 MAY BE REQ'D IN SOME LOCATIONS CHECK DRAWING NOTES)

### 4 INTERIOR STUD PARTITIONS

2 X 4 STUDS @ 16" O/C W/DBL TOP PL STANDARD 1/2" DRYWALL BOTH SIDES LOAD BEARING WALLS ARE AS MARKED ON DWGS. PROVIDE 6 MIL YAP BARRIER UNDER ALL STUD WALLS @ BASEMENT LEVEL

#### 5 FOUNDATIONS

PARGE AND DAMP PROOF AS PER O.B.C.9.13.5. WITH DRAINAGE LAYER AS PER O.B.C. 9.14.2(2) \$ (2.1) PROVIDE BACKFILL WITH NON FROST SUSCEPTIBLE SOIL 4" WEEPING TILE 6" GRAYEL COYER TO ALL TILE AND FOOTINGS CONTRACTOR TO CONFIRM REQUIREMENTS OF LOCAL MUNICIPALITY FOR STORM WATER MANAGEMENT AND SEWER AND WATER HOOKUPS

6-BASEMENT/GARAGE SLAB 4" 25 MPa CONCRETE ON 5" GRANULAR "A" MAX 5-7% AIR ENTRAINMENT PROVIDE 6X6 WWM TO GARAGE SLAB

7-BASEMENT/FOUNDATION INSULATION (OTHER THAN CRAWLSPACE) BUILDING APAPER ON EXTERIOR WALLS R20 INSULATION ON 2"X 4" STRAPPING(IF REQ'D) 6 MIL AIR/VAP BARRIER 1/2" DRYWALL UNLESS OTHERWISE NOTED

#### 8-GARAGE GAS PROOFING

INSULATE CEILING TO MIN R50 INSULATE INTERIOR WALLS TO MIN R24 PROVIDE 6MIL AIR/YAP BARRIER TO WARM SIDE 5/8 DRYWALL TAPED & CAULKED TO MAINTAIN GASPROOF FINISH, MUST COMPLY WITH O.B.C. 9.10.9.16

9-INTERIOR FINISHES BASEBOARD, CASING, DOOR TRIM & OTHER TRIM AS PER OWNERS SPEC OR BUILDERS SAMPLES 10-FINISHED FLOOR TO COMPLY WITH O.B.C.9.23,14A STANDARD SUBFLOOR ALLOWANCE 5/8" T&G PLY 11-TILED FLOORS TO COMPLY WITH O.B.C.9.30.6 PROVIDE ADDITIONAL SUPPORT FOR CONC TILE BASE 12-INTERIOR STAIRS AS PER DWGS-MAX RISE 200mm

MIN RUN 210mm MIN TREAD 238mm

13- EXTERIOR STAIRS

MAX RISE 200mm MIN RUN 210mm MIN TREAD 235mm

RAILINGS AS PER DWGS 3'0 @ LANDINGS

3'6" AROUND OPENINGS WITH FLOOR SEPARATION OF MORE THAN 4'0"

VERTICAL PICKETS ON ALL STAIRS AND GUARDS TO HAVE NAX 4" SEPARATION

14-WINDOWS

ALL WINDOWS TO BE DOUBLE GLZED ALL OTHER SPECIFICATIONS BY OWNER OR CONTRACTOR

15-ALL BEDROOM WINDOWS TO HAVE MIN OF ONE UNOBSTRUCTED OPENING OR .35M/2 WITH AN OPENEABLE MIN WIDTH OF 500mm -WINDOWS AND DOORS TO HAVE LINTELS WHERE A FLOOR/CEILING OR ROOF IS BEARING ABOVE (AS MARKED ON DWG)

16-MAIN ENTRANCE DOOR IS TO BE OPENEABLE FROM THE INSIDE WITHOUT A KEY

17-BATHROOMS AND KITCHEN TO BE VENTED DIRECTLY TO THE EXTERIOR AND SWITCHED SEPARATELY MIN 50 CFM MECH YENTS. NOTE: YENTS MAY BE APRT OF H.Y.A.C.DESIGN

18-FIREPLACE-WOOD BURNING/GAS AND DIRECT YENT ROOM FURNACES ARE SUBJECT TO THE REQUIREM'TS OF H.Y.A.C. DESIGN SPECS.

#### SPRAY FOAM INSULATION

1)Roof insulation to conform to CAN/ULC-5705.1, "Thermal Insulation Applied Rigid

Polyurethane Foam, Medium Density-Material Specifications", 2)Insulation installers are to be certified by the manufacturer. Insulation is to be installed in

Accordance with CANULC-\$705.2-05. "Thermal insulation Spray Applied Rigid Polyurethane

Foam, Medium Density". Upon completion of the spray foam insulation installation, the certified installer or a professional engineer submit to the inspector, verification that the installation of the system has been completed in accordance with the manufacture's specifications and standards.

3) Due to the hazardous conditions related to too gassing, no inspections shall be conducted Until 24 hours after installation.

4)Continuous 6 mil poly vapour barrier is to be installed on the warm side of the ceiling. Pot Lights are acceptable if they are sealed units listed by ULC and the vapour barrier is installed around the light.

O SUMP PUMP - ENSURE SITE F 50 CFM 50 CFM MECH VENT TO EXTERIOR GRADING ACCOMODATES CHECK HYAC DESIGN " LOCAL REQUIREMENTS

#### Table 3.1.1.11. (IP) Thermal Performance Requirements for Additions to Existing Buildings(8) Forming Part of Sentence 3.1.1.11.(2)

		Compliance Package			
Component	Thermal Values(7)	Zone 1	Zone 2	Electric Space Heating	
		Less than 5000 Degree Days	5000 or more Degree Days	Zones 1 and 2	
	Min. Nominal R(1)	60	60	60	
Ceiling with Attic Space	Max. U <sup>(2)</sup>	0.017	0.017	0.017	
	Min. Effective R(2)	59.22	59.22	59.22	
	Min. Nominal R(1)	31	31	31	
Ceiling Without Attic Space	Max. U <sup>(2)</sup>	0.036	0.036	0.036	
Орисс	Min. Effective R(2)	27.65	27.65	27.65	
	Min. Nominal R(1)	31	31	31	
Exposed Floor	Max. U(3)	0.034	0.034	0.034	
	Min. Effective R(3)	29.80	29.80	29.80	
	Min. Nominal R(1)	19 + 5 ci	22 + 7.5 ci	22 + 10 ci	
Walls Above Grade	Max. U(3)	0.049	0.042	0.038	
	Min. Effective R(3)	20.32	23.90	26.40	
	Min. Nominal R(1)	20 ci	20 ci	20 ci	
Basement Walls®	Max. U <sup>(4)</sup>	0.047	0.047	0.047	
	Min. Effective R(4)	21.12	21.12	21.12	
Heated Slab or	Min. Nominal R(1)	10	10	10	
Slab ≤ 600 mm Below	Max. U <sup>(4)</sup>	0.090	0.090	0.090	
Grade	Min. Effective R(4)	11.13	11.13	11.13	
Edge of Below Grade Slab ≤ 600 mm Below Grade	Min. Nominal R <sup>(1)</sup>	10	10	10	
Windows and Sliding	Max. U <sup>(5)</sup>	0.28	0.25	0.25	
Glass Doors	Energy Rating	25	29	29	
Column 1	2	3	4	5	

#### Notes to Table 3.1.1.11 (IP):

- (1) The values listed are minimum Nominal R values for the thermal insulation component only.
- (2) U-Value and effective R value shall include entire ceiling assembly components, from interior air film to vented space air film above insulation.
- (3) U-Value and effective R value shall include entire exposed floor or above grade wall assembly components, from interior air film to exterior air film.
- (4) U-Value and effective R value shall include entire basement wall or slab assembly components and interior air film.
- (5) U-Value is the overall coefficient of heat transfer for a window assembly, sliding glass door assembly or skylight assembly expressed in Btw(h-ft²-F).
- (6) In the case of basement wall assemblies, where R20 oi is required R12 + 10 oi is permitted to be used or vice versa; or where R12 + 5 oi is required R15 ci is permitted to be used or vice versa.
- (7) Nominal and effective R values are expressed in (h-ft2-F)/Btu. U-Values are expressed in Btu/(h-ft2-F).

PROJECT

### SYMBOL LEGEND SMOKE ALARM/CARBON MONOXIDE DETECTOR W/ STROBE INTERCONNECTED SMKE ALARM **⊕** SA WITH STROBE LIGHT CARBON MONOXIDE DETECTOR F 50 CFM 50 CFM MECH VENT TO EXTERIOR PS PULL STATION EXIT SIGN/DIRECTION EL EMERGENCY LIGHTS **EXIT** EXIT SIGN ACCESSIBILITY SIGN

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DETAIL NOTES DATE DWN BY 2022-05-12 SCALE

As Noted

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AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER
OTHER CATION INFORMATION

OTHER CATION INFORMATION FIRM JONATHAN HATCH LTD BCIN 38IIT

NAME JONATHAN HATCH BCIN 37321

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