

SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF
PART OF LOTS 18 AND 19
REGISTERED PLAN D-1396
CITY OF TORONTO
SCALE 1:150

VLADIMIR DOSEN SURVEYING, O.L.S.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
OF VLADIMIR DOSEN, O.L.S.

NOTES AND LEGEND

- DENOTES SURVEY MONUMENT PLANTED
■ DENOTES SURVEY MONUMENT FOUND
SIB DENOTES STANDARD IRON BAR
IP DENOTES IRON PIPE
IB DENOTES IRON BAR
RIB DENOTES ROUND IRON BAR
CC DENOTES CUT CROSS
M DENOTES MEASURED
SET DENOTES SET
WIT DENOTES WITNESS
C DENOTES CALCULATED
OU DENOTES ORIGIN UNKNOWN
PL DENOTES REGISTERED PLAN D-1396
P1 DENOTES PLAN BY C.E.DOTTERILL LTD O.L.S.
DATED DECEMBER 22, 1978
P2 DENOTES PLAN BY VLADIMIR DOSEN SURVEYING O.L.S.
DATED MARCH 13, 2020
NTS DENOTES NOTES BY CITY OF TORONTO
INDEX D1364-49
D DENOTES INST.No.CA236896
WV DENOTES WATER VALVE
MH DENOTES MANHOLE
HB DENOTES HYDRO BOX
UP DENOTES UTILITY POLE
WRW DENOTES WOOD RETAINING WALL
BF DENOTES BOARD FENCE
CLF DENOTES CHAIN LINK FENCE
CRW DENOTES CONCRETE RETAINING WALL
N/S/E/W DENOTES NORTH/SOUTH/EAST/WEST
PC DENOTES POINT OF CURVATURE
Ø DENOTES DIAMETER
☼ DENOTES DECIDUOUS TREE
☼ DENOTES CONIFEROUS TREE

BENCHMARK NOTE:

ELEVATIONS ARE LOCAL.

PART 2) SURVEY REPORT

DESCRIPTION OF LAND:
PIN 21286-0597(LT)
PART OF LOTS 18 AND 19, REGISTERED PLAN D-1396
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
NO EASEMENTS.

BOUNDARY FEATURES:
POSITION OF FENCES AS SHOWN ON PLAN.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS.

BEARING NOTE:

BEARINGS ARE ASTRONOMIC AND ARE
DERIVED FROM THE NORTHERLY
LIMIT OF DAVENPORT ROAD
AS SHOWN ON REGISTERED PLAN D-1396
HAVING A BEARING OF N79°18'00"E

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEYS ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 07th DAY OF FEBRUARY, 2022

DATE: FEBRUARY 08, 2022

VLADIMIR DOSEN, B.Sc.,
ONTARIO LAND SURVEYOR

VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS
555 DAVISVILLE AVENUE
TORONTO, ONTARIO M4S 1J2
PHONE (416) 466-0440 EMAIL: vladdosen@rogers.com

JOB No: 22034	FIELD BY: BN
FILE: 20-026	DRAWN BY: NEMANJA
CAD FILE: 1238 DAVENPORT RD	CHECKED BY: VD

RECEIVED

By Committee of Adjustment at 12:01 pm, May 12, 2022

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-22300



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

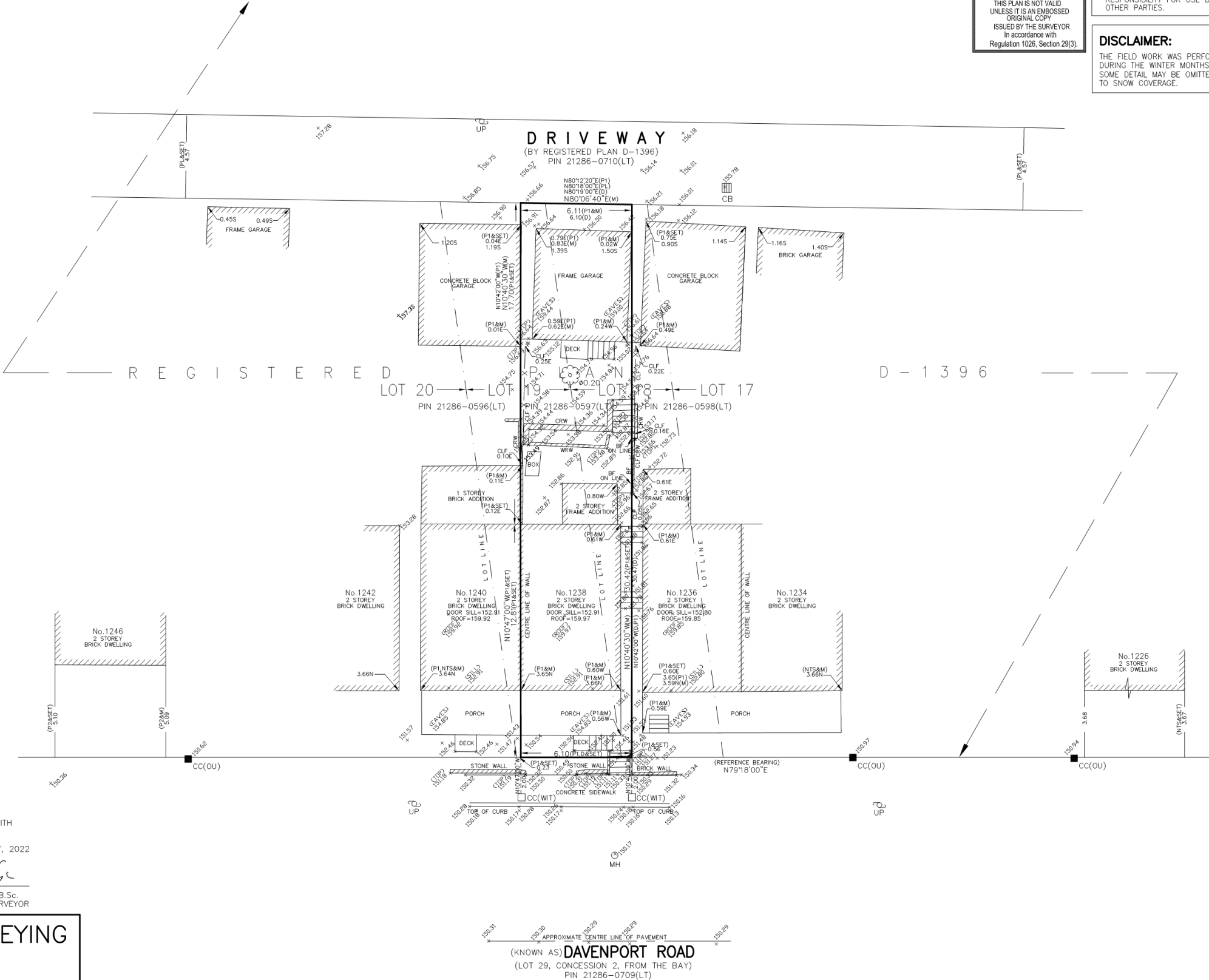
METRIC

DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048.

THIS REPORT WAS PREPARED FOR
KIERAN M NAKASHIMA
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY
OTHER PARTIES.

DISCLAIMER:

THE FIELD WORK WAS PERFORMED
DURING THE WINTER MONTHS AND
SOME DETAIL MAY BE OMITTED DUE
TO SNOW COVERAGE.



PIN 21286-0710(LT)

N80°12'20"E(PI)
N80°18'00"E(PL)
N80°19'00"E(D)
N80°06'40"E

C#

The site plan shows three buildings with the following details:

- Concrete Block Garage (Left):**
 - Dimensions: 12'0" x 11'0" (F146T), 0.04E, 1.19S
 - Area: 1.30S
 - Notes: EX HARDSCAPING, 156.91, 156.64, 156.90, 156.42
- Frame Garage (Middle):**
 - Dimensions: 10'42"00" (W/F1), 11'0"40"30" (W/F1), 17'10" (F146T)
 - Area: 0.79E (F1), 0.83E (M), 1.39S
 - Notes: EX HARDSCAPING, 156.91, 156.64, 156.90, 156.42
- Concrete Block Garage (Right):**
 - Dimensions: 11'0"40"30" (W/F1), 17'10" (F146T)
 - Area: 0.79E (F1), 0.83E (M), 1.39S
 - Notes: EX HARDSCAPING, 156.91, 156.64, 156.90, 156.42
- Brick Garage (Far Right):**
 - Dimensions: 11'0"40"30" (W/F1), 17'10" (F146T)
 - Area: 0.79E (F1), 0.83E (M), 1.39S
 - Notes: EX HARDSCAPING, 156.91, 156.64, 156.90, 156.42

20—|—L
PIN 21286-0596(LT)

PIN 21286-0597(LT)

PIN 21286-0598(LT)

LOT 17

No. 1240
2 STOREY
BRICK DWELLING
DOOR SILL=152.91
ROOF=159.92

PROPOSED SECOND
SECONDARY UNIT,
TOTAL PROPOSED
INTERIOR FLOOR
AREA OF ALL
SECONDARY SUITES
98.75 M²,
DEAR PLATFORM

No.1238
2 STOREY
BRICK DWELLING
DOOR SILL=152.91
ROOF=159.97

No.1236
2 STOREY
BRICK DWELLING
DOOR SILL=152.80
ROOF=159.85

No.1234
2 STOREY
BRICK DWELLING

PORCH

PORCH (P14M)

PORCH

STONE

0.42 STONE WALL

(REFERENCE BEARING)
N79°18'00"E

CC(OH)

DAVENPORT ROAD

SCALE: 1:150

THE UNDERSIGNED HAS REVIEWED 1 TAKEAS
RESPONSIBILITY FOR THIS DESIGN, AND HAS
THE QUALIFICATIONS AND MEETS THE
REQUIREMENTS SET OUT IN THE ONTARIO
BUILDING CODE TO BE A P.E. GRADER.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER
DIVISION 2.1.3.1. OF THE 1997 ONTARIO
BUILDING CODE (OR 2.1.4.1. OF THE 1981
ONTARIO BUILDING CODE).

NAME JONATHAN HATCH BCIN 37521

REGISTRATION INFORMATION

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DIVISION 2.1.3.1. OF THE 1997 ONTARIO
BUILDING CODE (OR 2.1.4.1. OF THE 1981
ONTARIO BUILDING CODE).

FIRM JONATHAN HATCH LTD. BCIN 38117

SIGNATURE _____

GENERAL NOTES

IT IS THE CONTRACTORS RESPONSIBILITY
TO CHECK ALL DIMENSIONS, SPECIFICATIONS
& DETAILS "TO INFORM THE OWNER OR
DESIGNER, IN WRITING OF ANY UNFORESEEN
DISCREPANCIES OR UNKNOWN SITE CONDITION
• ALL WORK & MATERIALS MUST CONFORM TO
ONTARIO BUILDING CODE REQUIREMENTS
• NO WORK MAY PROCEED UNTIL STAMPED
& APPROVED DRAWINGS FROM THE
RELEVANT AGENCIES HAVE BEEN ISSUED &
RECEIVED. THOSE DRAWINGS ARE TO BE
AVAILABLE ON REQUEST.
• ALL DRAWINGS, SPECIFICATIONS & DETAILS
REMAIN THE PROPERTY OF THE DESIGNER &
MUST BE RETURNED AT COMPLETION OF WORK
• DRAWINGS ARE NOT TO BE COPIED, REPRODUCED
OR ALTERED WITHOUT THE EXPRESSED
PERMISSION OF THE DESIGNER.

DO NOT SCALE DRAWINGS

DO NOT SCALE DRAWINGS

DATE	ISSUE/REVISION

	SQUARE FEET	SQUARE METERS
TOTAL AREA	1089.63	101.23
EX GARAGE	352.20	32.72
EX. REAR LANE HARDSCAPING	95.05	8.83
EX. NEIGHBOURING ENCRANCHING STRUCTURES	7.64	0.71
EX. RETAINING WALL + STAIRS + PATH	279.75	25.99
PROPOSED PLATFORM + STAIRS	33.48	3.11
EX. SIDE GARAGE HARDSCAPING	55.33	5.14
EX. GARAGE STAIRS	31.22	2.90
TOTAL	854.65	79.40
PROP SOFT LANDSCAPING	234.98	21.83
REQ'D SOFT LANDSCAPING	544.82	50.62

NET LANDSCAPING	SQUARE FEET	SQUARE FEET
TOTAL AREA	238.00	24.00
EX VERANDAH	149.10	5.65
FRCP. RETAINING WALL	4.50	0.58
EXISTING STAIRS & PLATFORM	56.00	7.42
EX. RETAINING WALL	2.40	0.21
EX. PAW	9.30	1.05
FRCP. WALKOUT	5.00	0.84
TOTAL	201.90	16.76
SOFT LANDSCAPING	56.40	8.24
RED SOFT LANDSCAPING	55.86	8.00

HATCH
DESIGNS

416 333 0941
jon@hatchdesigns.ca

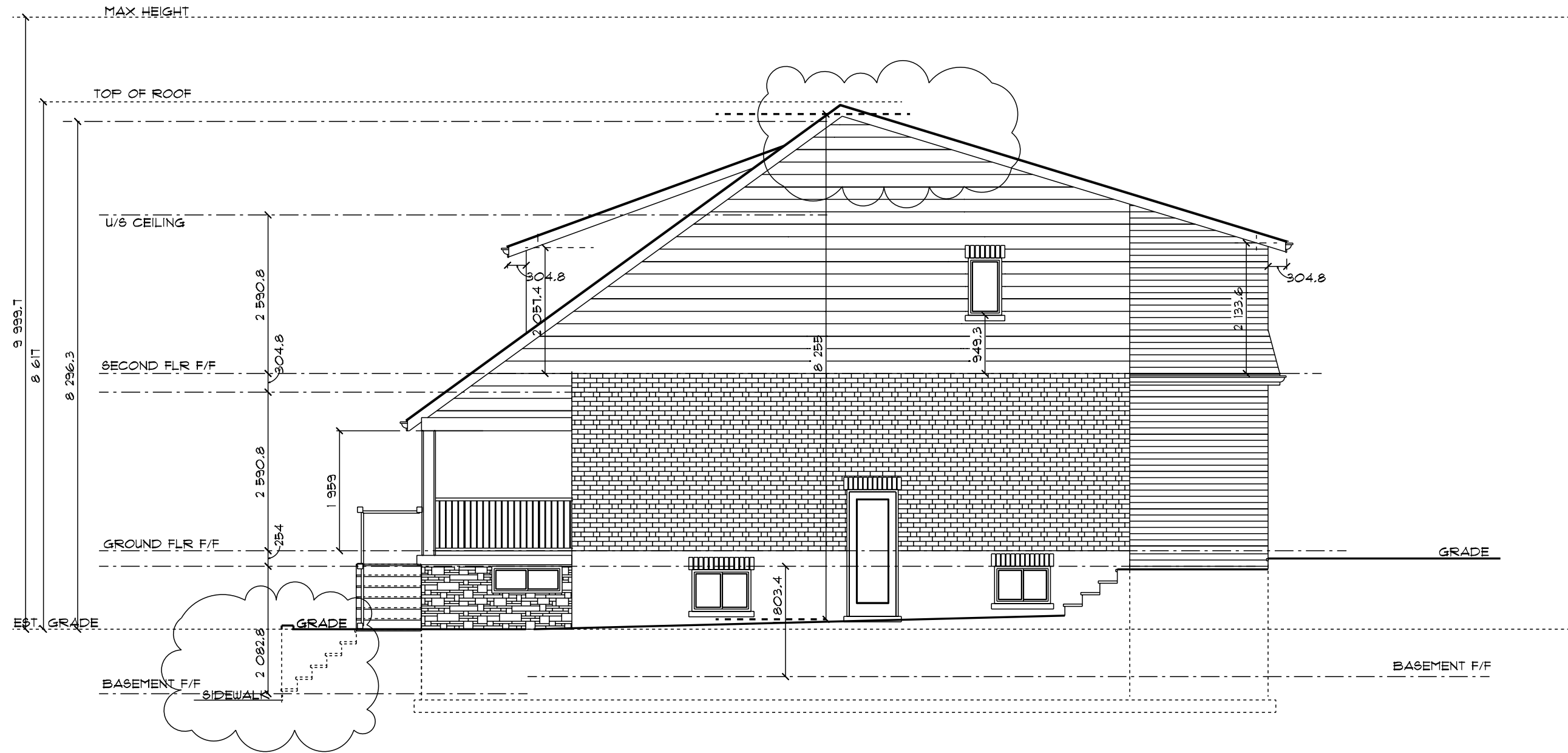
PROJECT

1238 DAVENPORT RD

DETAIL
SITE PLAN

DWN BY JH	DATE 2022-05-12
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DWG No	SCALE
1	1:150



EX EAST ELEVATION

SCALE: 1:15

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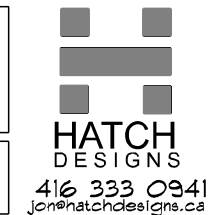
DO NOT SCALE DRAWINGS

DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

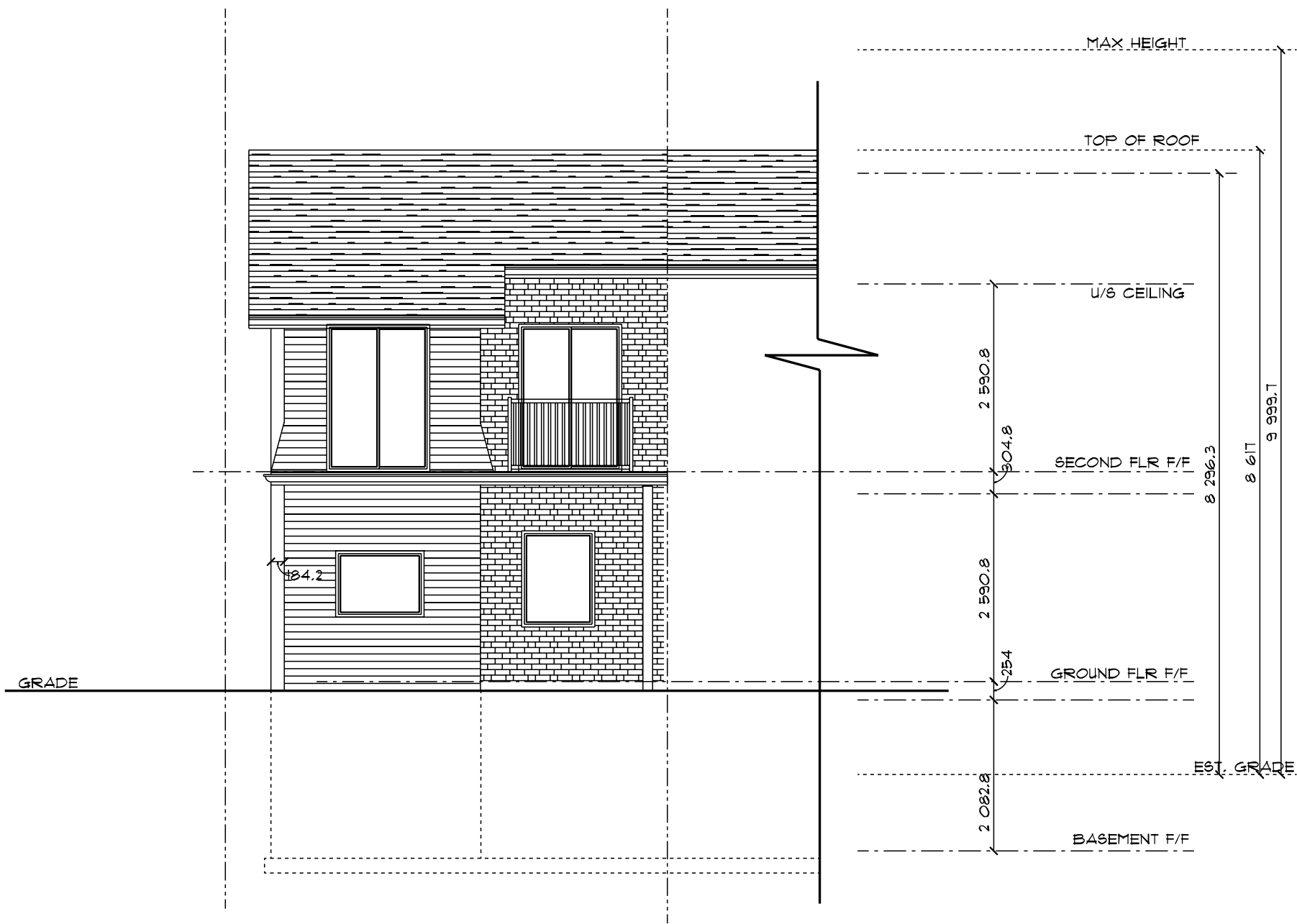
DETAIL EX EAST ELEVATION	
DWN BY	DATE
	2022-05-12
SCALE	
1:15	

PROJECT
1238 DAVENPORT RD

SHT No
2
DWG No



THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.1.1.4.1 OF THE 1991 ONTARIO BUILDING CODE)
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.1.1.4.1 OF THE 1991 ONTARIO BUILDING CODE)	FIRM JONATHAN HATCH LTD. BCIN 38111
NAME JONATHAN HATCH BCIN 31321	SIGNATURE



EX NORTH ELEVATION
SCALE: 1:75

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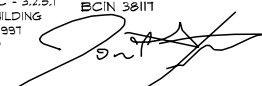
DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

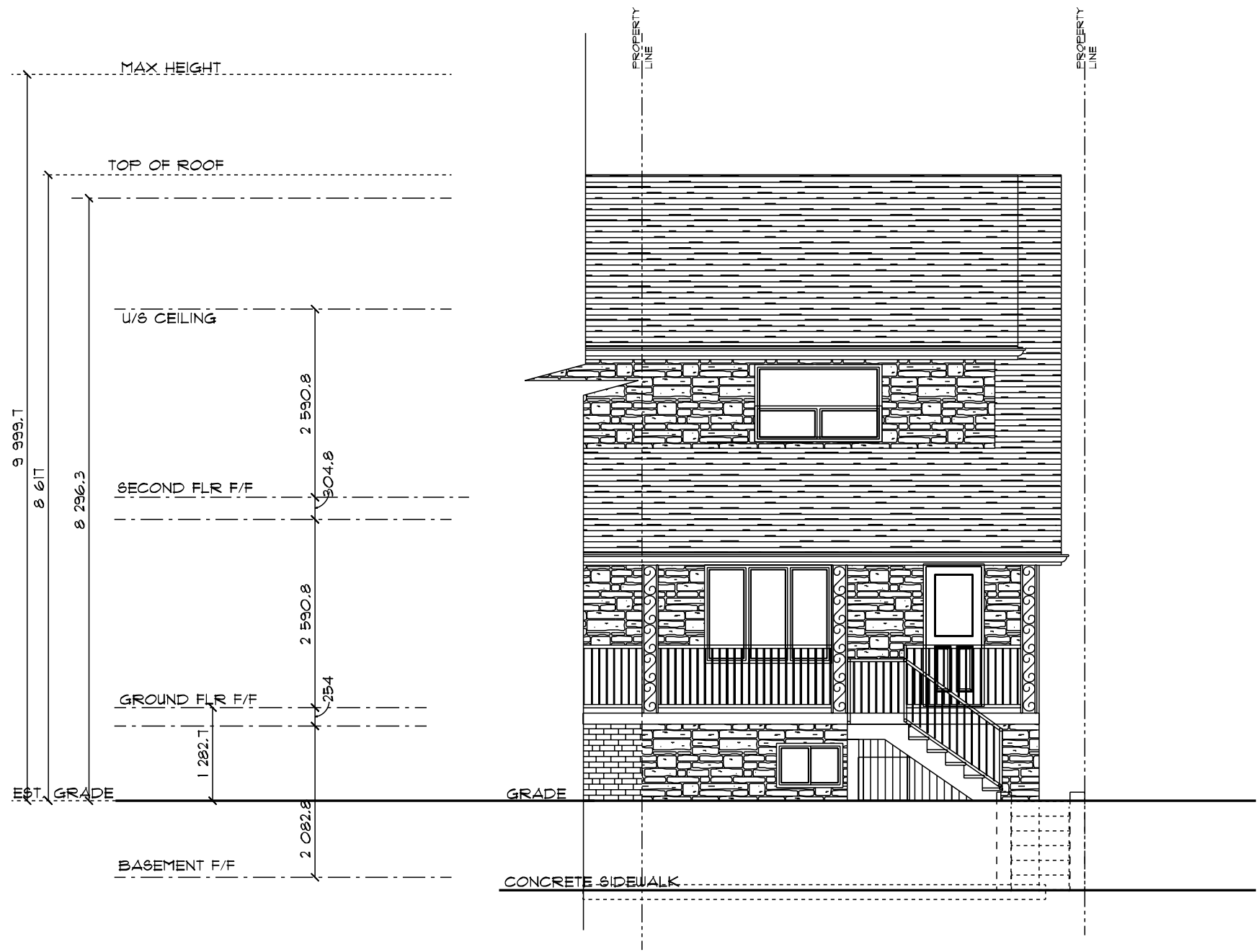
DETAIL EX NORTH ELEVATION	
DWN BY	DATE
	2022-05-12
SCALE	
1:75	

PROJECT
1238 DAVENPORT RD

SHT No
3
DWG No


**HATCH
DESIGNS**
416 333 0941
jon@hatchdesigns.ca

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EX SOUTH ELEVATION
SCALE: 1:75

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DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

DETAIL EX SOUTH ELEVATION	
DWN BY	DATE
	2022-05-12
SCALE 1:75	

PROJECT
1238 DAVENPORT RD

SHT No
4
DWG No

HATCH

DESIGNS

416 333 0941

jon@hatchdesigns.ca

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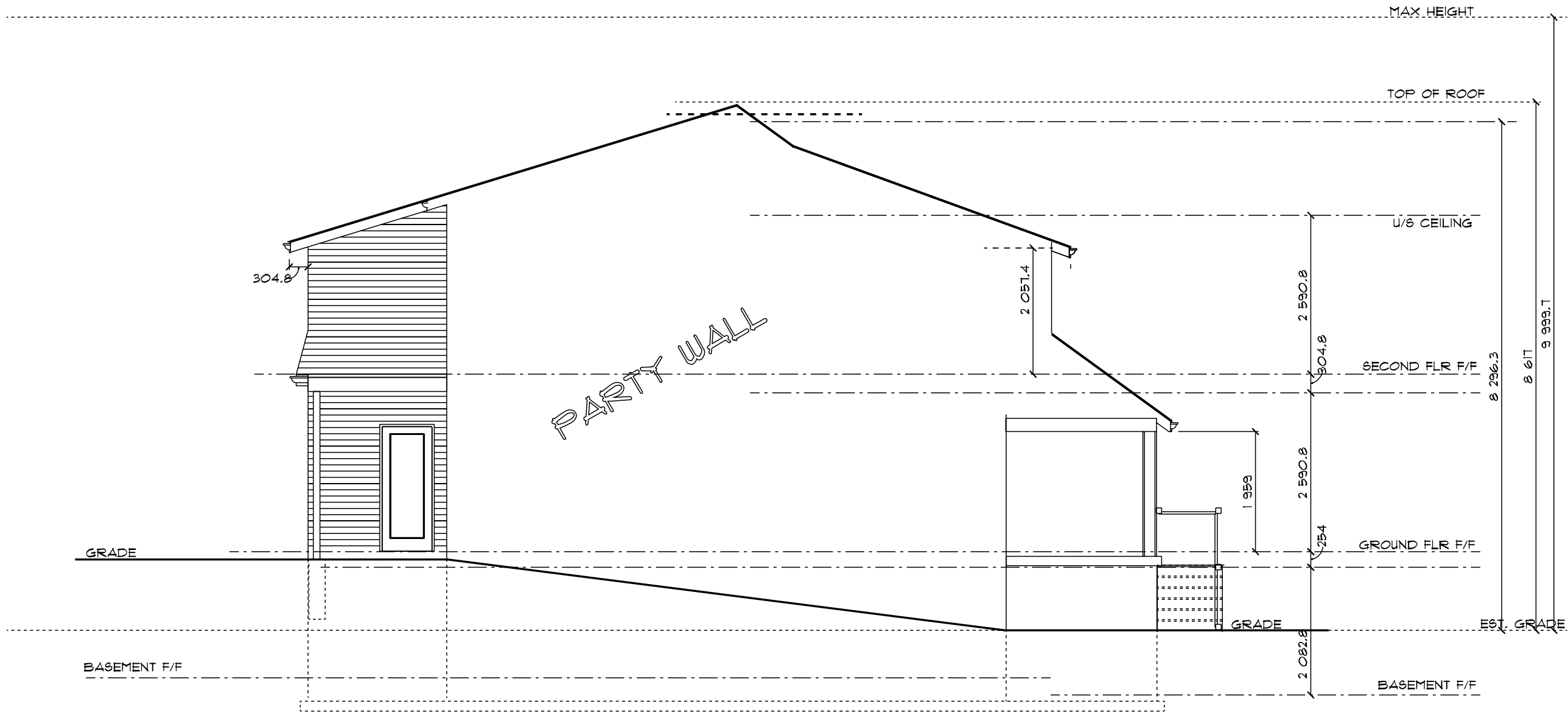
NAME JONATHAN HATCH
BCIN 31321

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FIRM JONATHAN HATCH LTD.
BCIN 38111

SIGNATURE



EX WEST ELEVATION

SCALE: 1:15

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DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

DETAIL EX WEST ELEVATION	
DWN BY	DATE
	2022-05-12
SCALE	
1:15	

PROJECT
1238 DAVENPORT RD

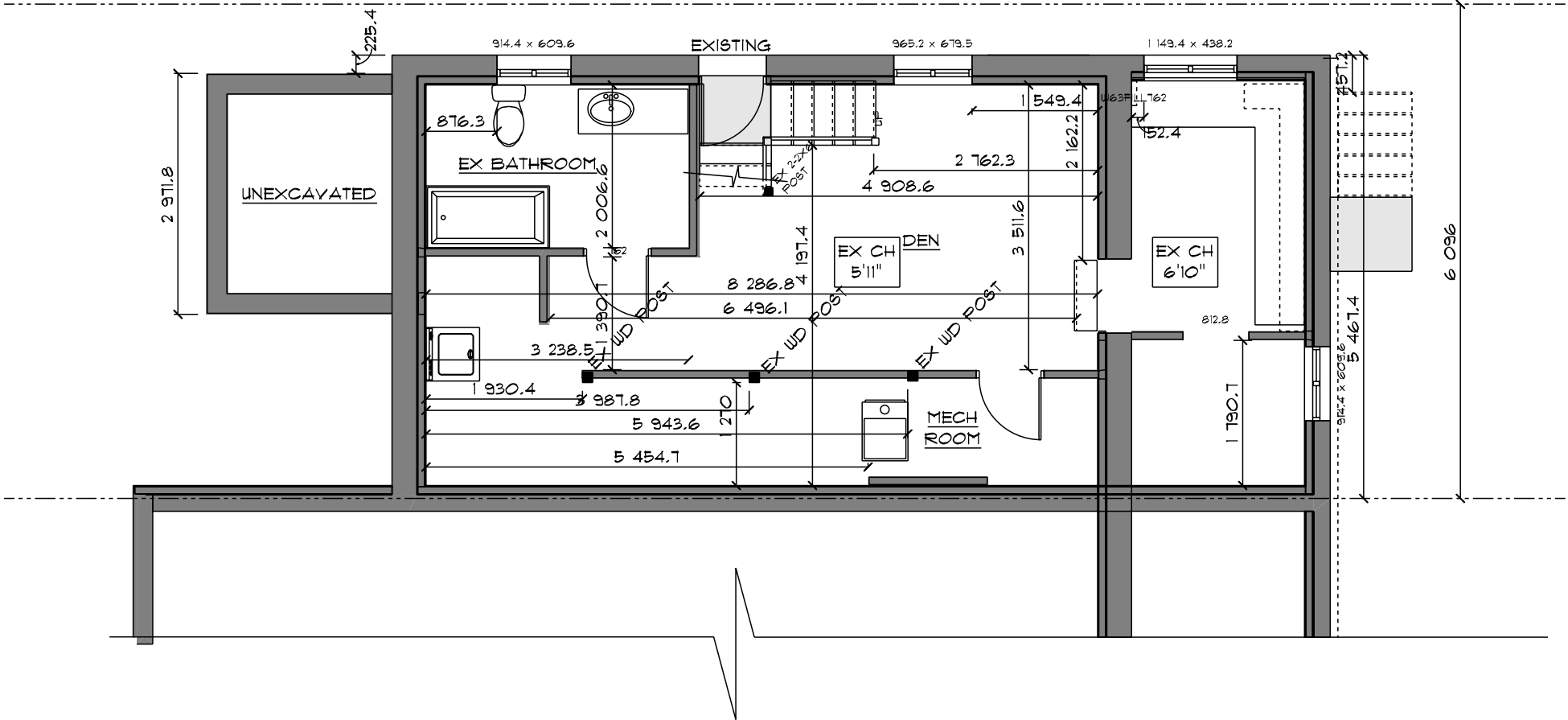
SHT No
5
DWG No



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NAME JONATHAN HATCH BCIN 31321	SIGNATURE

EX BASEMENT

SCALE: 1:75



WALL SCHEDULE

- PROPOSED INTERIOR WOOD FRAME PARTITIONS- AS MARKED
- EXISTING INTERIOR WOOD FRAME PARTITIONS- AS MARKED
- EXISTING MASONRY WALLS- AS MARKED
- PROPOSED EXTERIOR FRAME WALLS, SIDING/STUCCO - AS MARKED
- PROPOSED EXTERIOR FRAME WALLS WITH BRICK VENEER - AS MARKED

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DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

DETAIL EX. BASEMENT PLAN	
DWN BY	DATE
	2022-05-12
SCALE 1:75	

PROJECT
1238 DAVENPORT RD

SHT No 6
DWG No

HATCH
DESIGNS
416 333 0941
jon@hatchdesigns.ca

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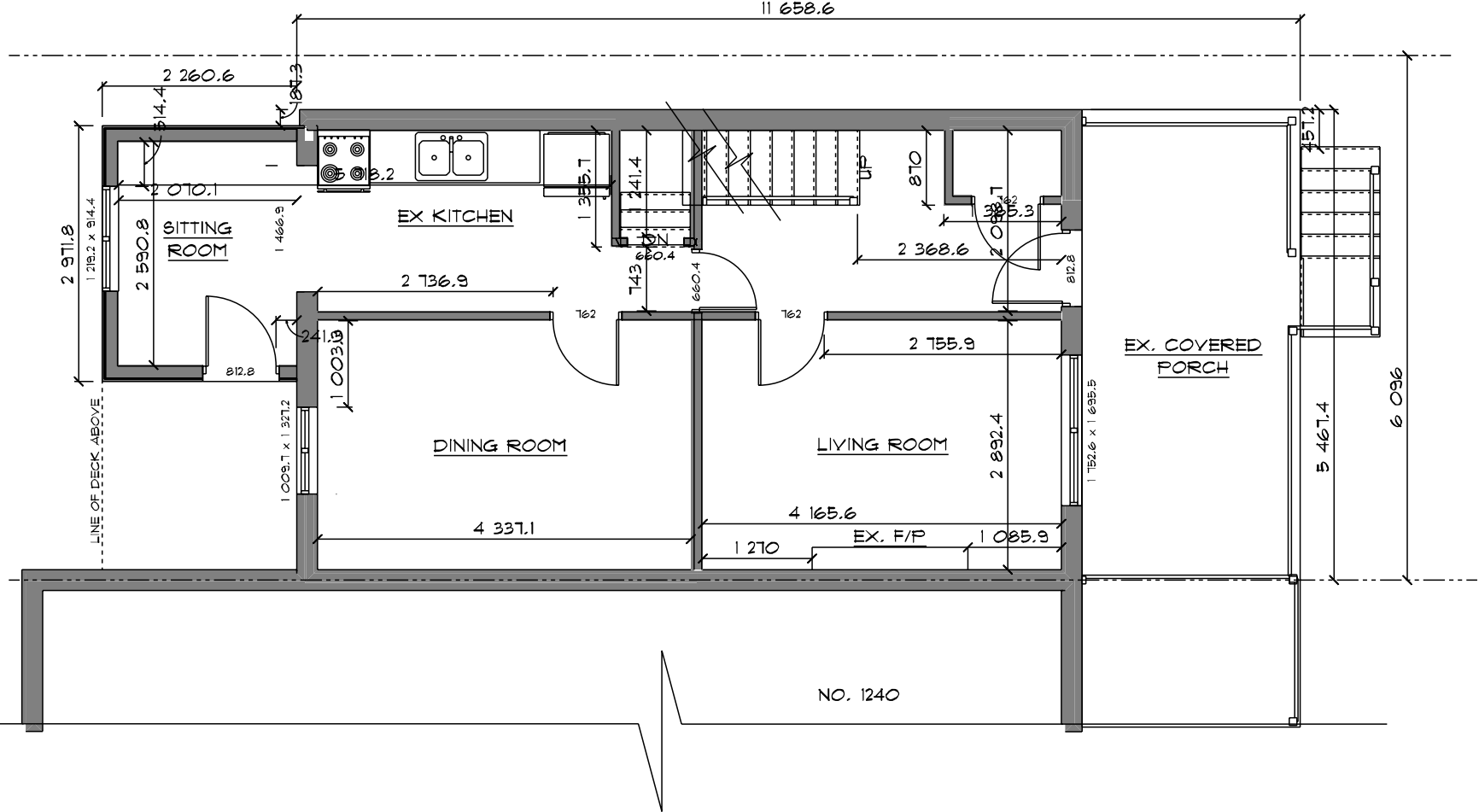
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NAME JONATHAN HATCH
BCIN 31321

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FIRM JONATHAN HATCH LTD.
BCIN 38111

SIGNATURE



EX GROUND FLOOR
SCALE: 1:75

WALL SCHEDULE	
	PROPOSED INTERIOR WOOD FRAME PARTITIONS- AS MARKED
	EXISTING INTERIOR WOOD FRAME PARTITIONS- AS MARKED
	EXISTING MASONRY WALLS- AS MARKED
	PROPOSED EXTERIOR FRAME WALLS, SIDING/STUCCO - AS MARKED
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DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

DETAIL EX. GROUND FLOOR	
DWN BY	DATE
	2022-05-12
SCALE 1:75	

PROJECT
1238 DAVENPORT RD

SHT No
7
DWG No



**HATCH
DESIGNS**
416 333 0941
jon@hatchdesigns.ca

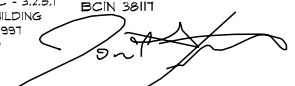
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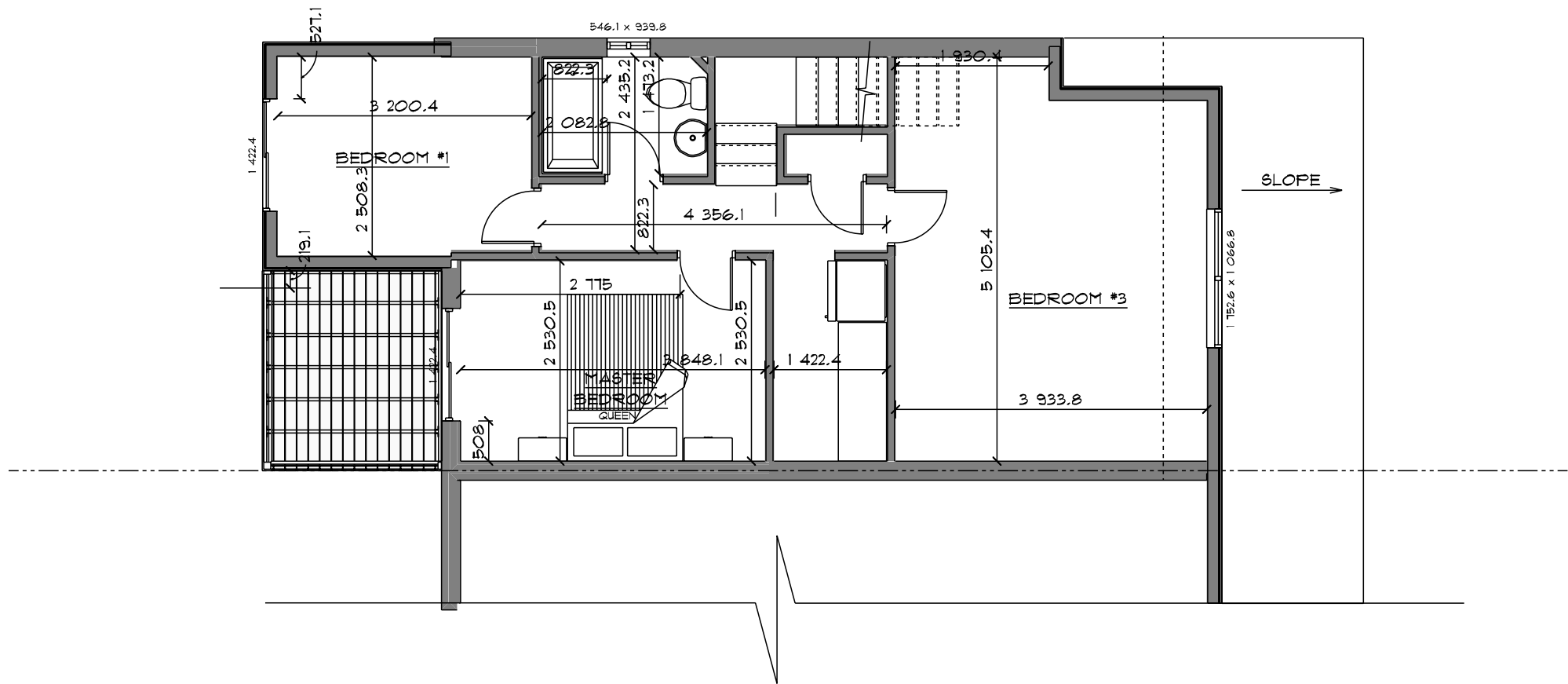
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BCIN 38111


SIGNATURE



EX SECOND FLOOR

SCALE: 1:75

WALL SCHEDULE	
	PROPOSED INTERIOR WOOD FRAME PARTITIONS- AS MARKED
	EXISTING INTERIOR WOOD FRAME PARTITIONS- AS MARKED
	EXISTING MASONRY WALLS- AS MARKED
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DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

DETAIL EX. SECOND FLOOR	
DWN BY	DATE
	2022-05-12
SCALE	
1:75	

PROJECT
1238 DAVENPORT RD

SHT No
8
DWG No



**HATCH
DESIGNS**

416 333 0941
jon@hatchdesigns.ca

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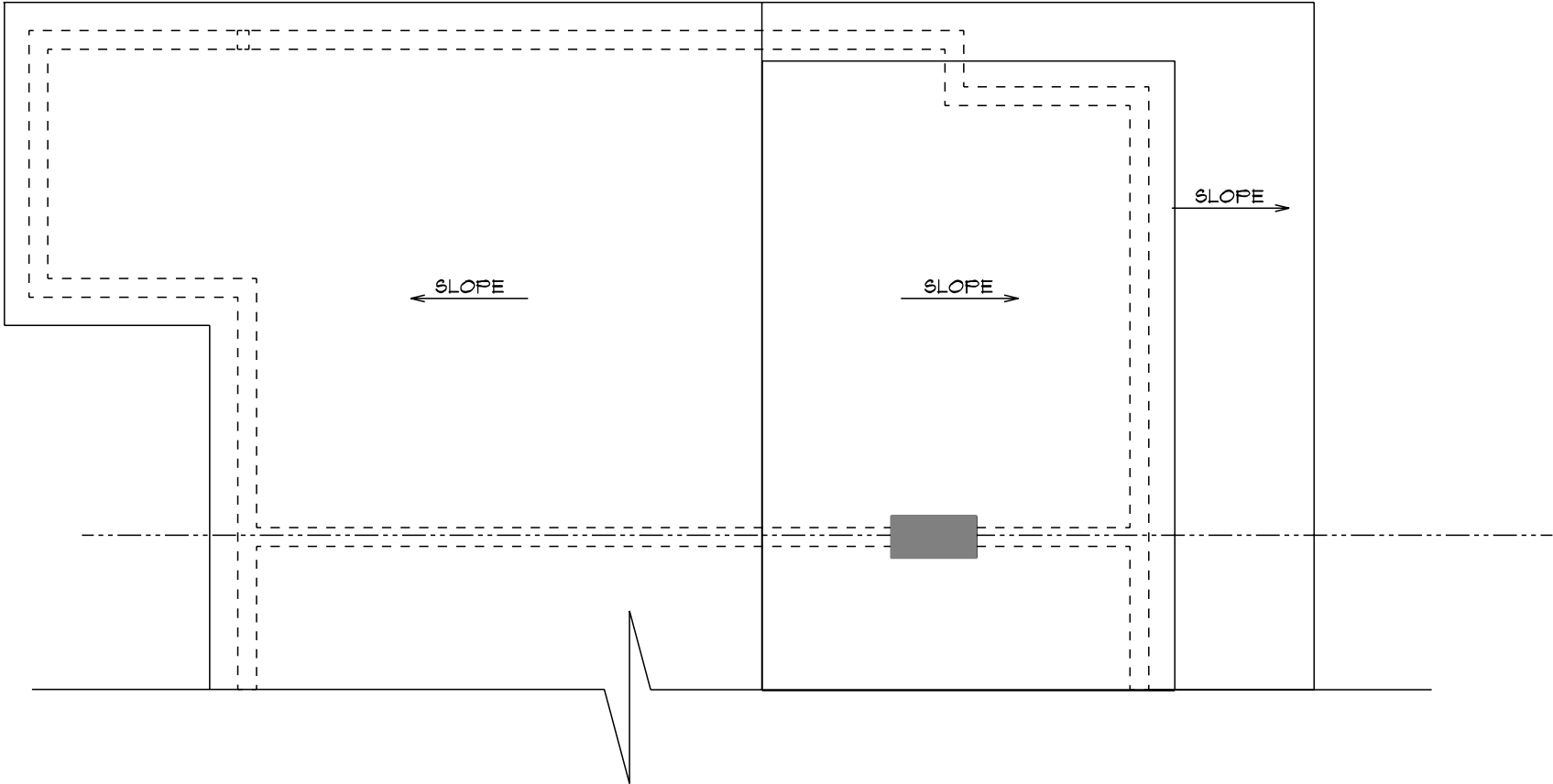
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FIRM JONATHAN HATCH LTD.
BCIN 38111

SIGNATURE



EX ROOF PLAN

SCALE: 1:75

WALL SCHEDULE	
	PROPOSED INTERIOR WOOD FRAME PARTITIONS- AS MARKED
	EXISTING INTERIOR WOOD FRAME PARTITIONS- AS MARKED
	EXISTING MASONRY WALLS- AS MARKED
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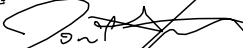
DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

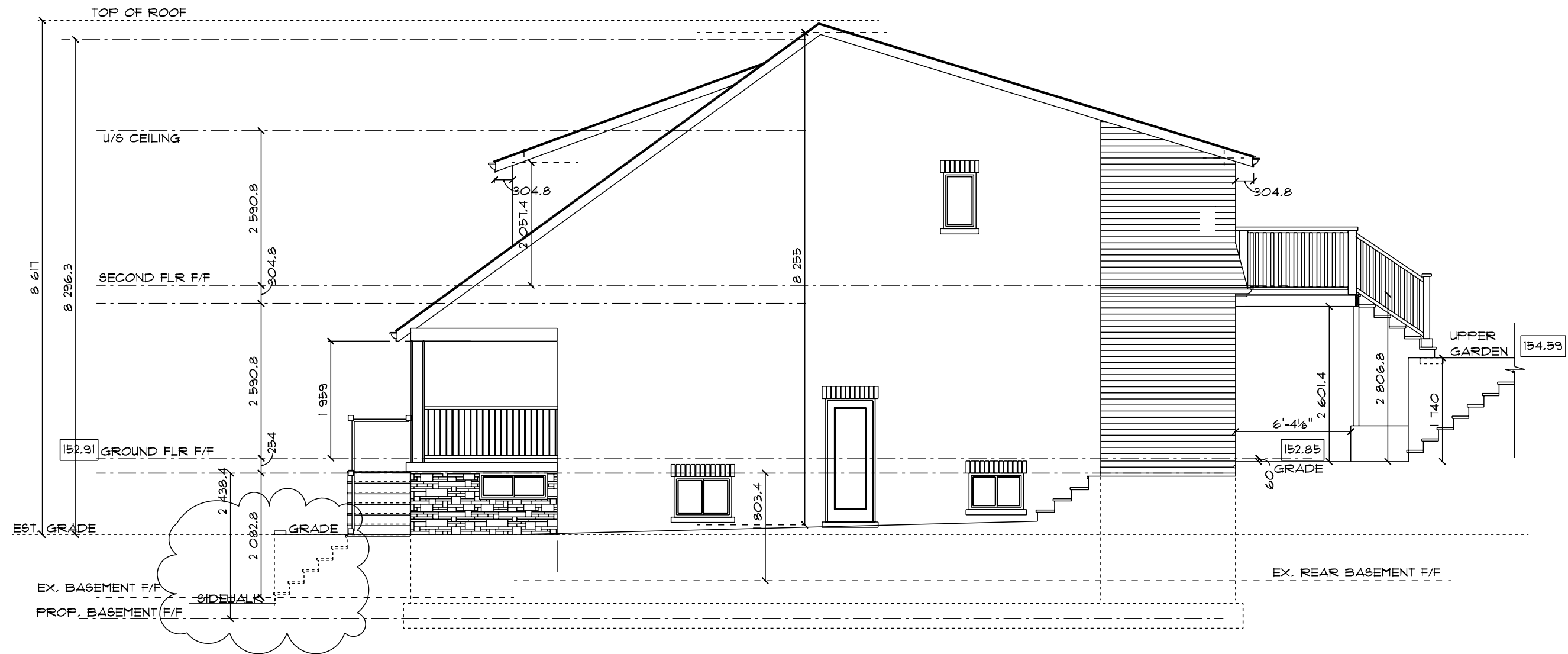
DETAIL	
EX. ROOF PLAN	
DWN BY	DATE
	2022-05-12
SCALE	
1:75	

PROJECT
1238 DAVENPORT RD

SHT No
9
DWG No

**HATCH
DESIGNS**
jon@hatchdesigns.ca
416 333 0941

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER	<u>REGISTRATION INFORMATION</u>
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.17.4.1 OF THE 1991 ONTARIO BUILDING CODE)	REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.17.4.1 OF THE 1991 ONTARIO BUILDING CODE)
<u>QUALIFICATION INFORMATION</u>	FIRM JONATHAN HATCH LTD. BCIN 38117
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.17.4.1 OF THE 1991 ONTARIO BUILDING CODE)	 SIGNATURE
NAME JONATHAN HATCH BCIN 37321	



PROP EAST ELEVATION

SCALE: 1:75

GENERAL NOTES

It is the Contractors responsibility to check all dimensions, specifications & details, and to inform the Owner or Designer, in writing of any discrepancies or unforeseen site conditions.

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-Drawings are not to be copied or altered without the express permission of the Designer.

DO NOT SCALE DRAWINGS

DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

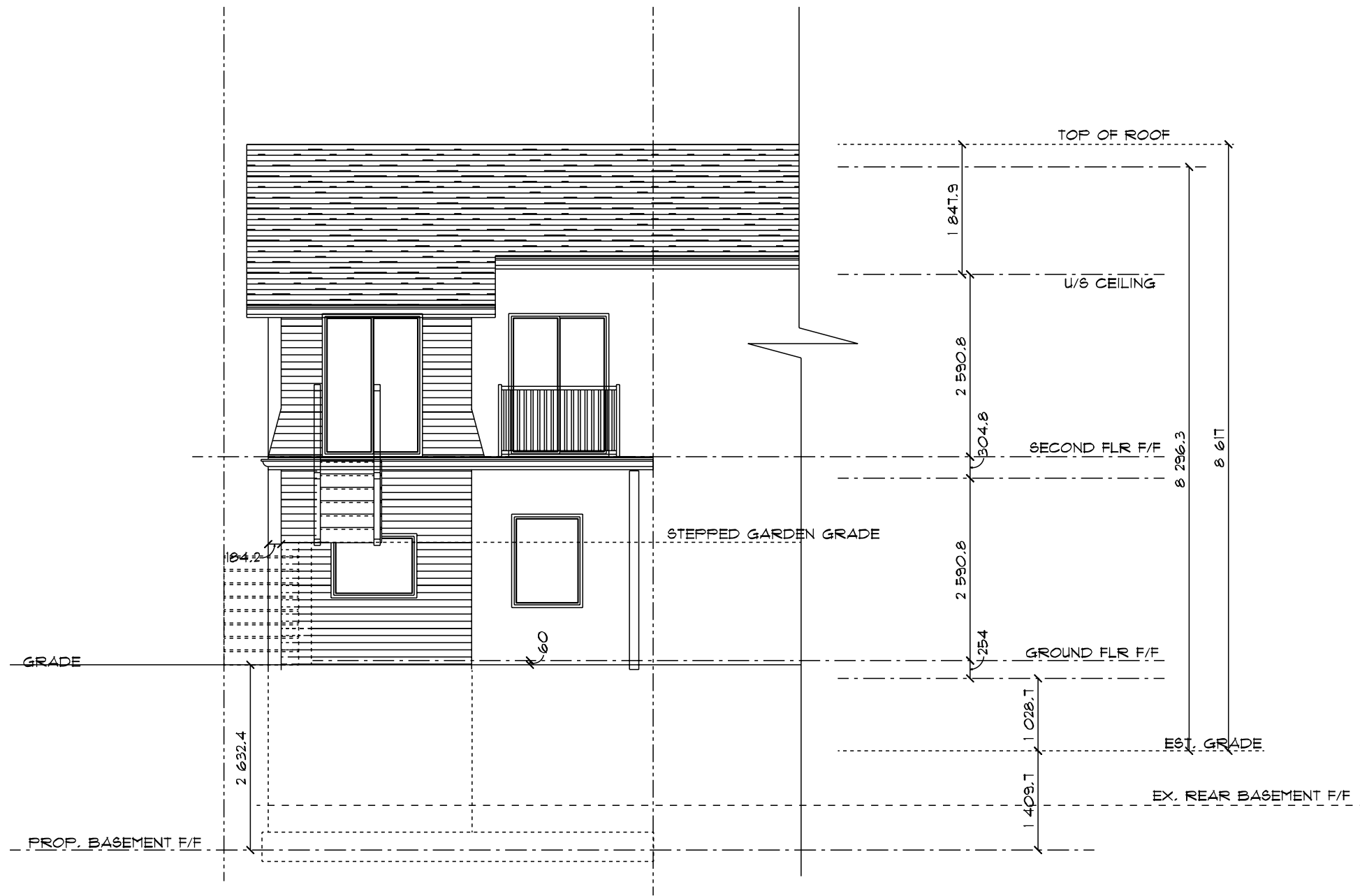
DETAIL PROP. EAST ELEVATION	
DWN BY	DATE
	2022-05-12
SCALE	
1:75	

PROJECT
1238 DAVENPORT RD

SHT No
10
DWG No



THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.17.4.1 OF THE 1997 ONTARIO BUILDING CODE)
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.17.4.1 OF THE 1997 ONTARIO BUILDING CODE)	FIRM JONATHAN HATCH LTD. BCIN 38111
NAME JONATHAN HATCH BCIN 31321	SIGNATURE



PROP NORTH ELEVATION

SCALE: 1:75

GENERAL NOTES

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DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

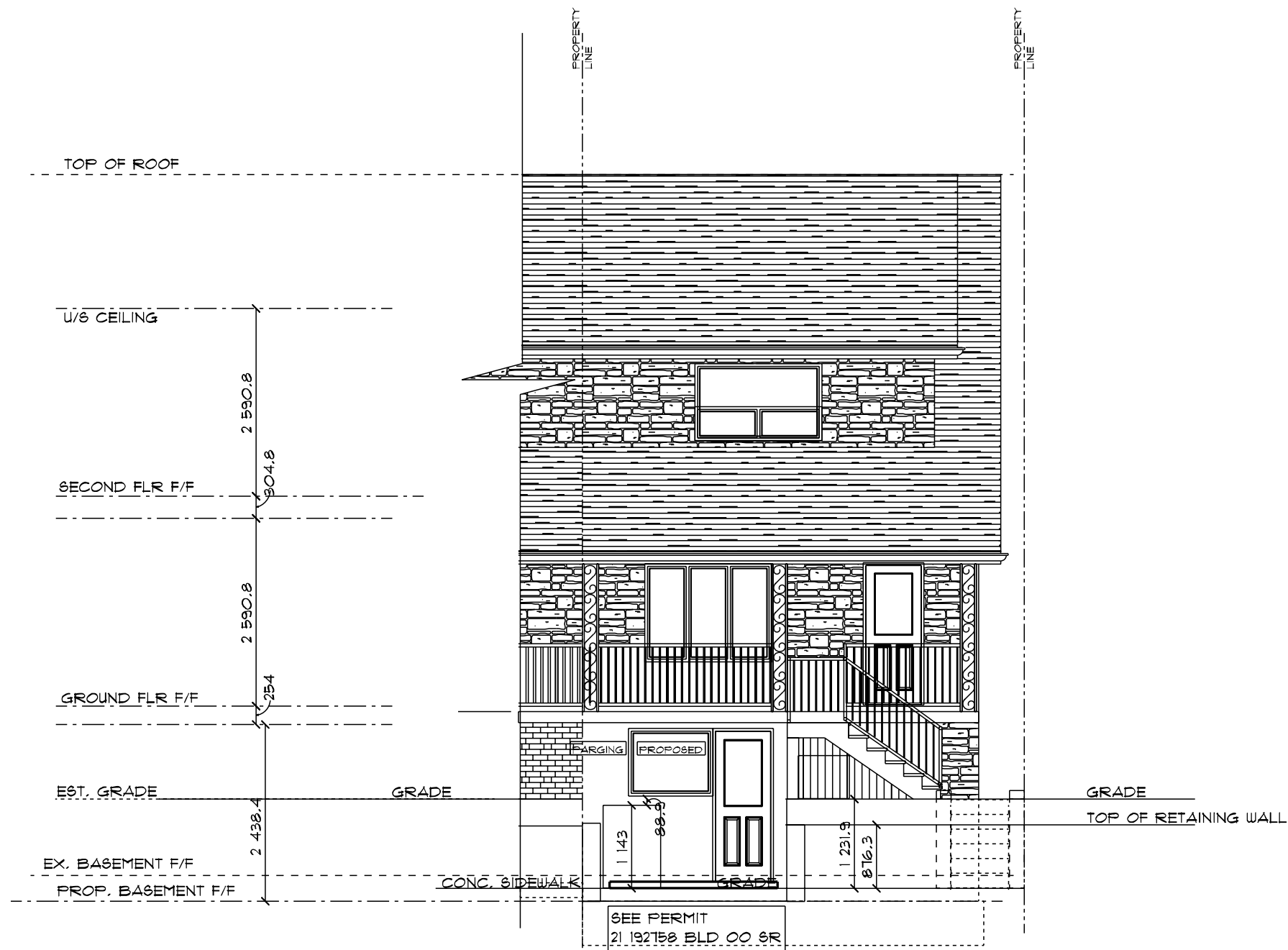
DETAIL PROP. NORTH ELEVATION	
DWN BY	DATE
	2022-05-12
SCALE	
1:75	

PROJECT
1238 DAVENPORT RD

SHT No
11
DWG No



THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.1.4.1 OF THE 1997 ONTARIO BUILDING CODE)
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.1.4.1 OF THE 1997 ONTARIO BUILDING CODE)	FIRM JONATHAN HATCH LTD. BCIN 38111
NAME JONATHAN HATCH BCIN 31321	SIGNATURE



PROP SOUTH ELEVATION

SCALE: 1:75

GENERAL NOTES

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DO NOT SCALE DRAWINGS

DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

DETAIL PROP. SOUTH ELEVATION	
DWN BY	DATE
	2022-05-12
SCALE 1:75	

PROJECT

1238 DAVENPORT RD

SHT No

12

DWG No

HATCH
DESIGNS
416 333 0941
jon@hatchdesigns.ca

THE UNDERSIGNED HAS REVIEWED
I TAKE RESPONSIBILITY FOR THIS
DESIGN, AND HAS THE QUALIFICATIONS
AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

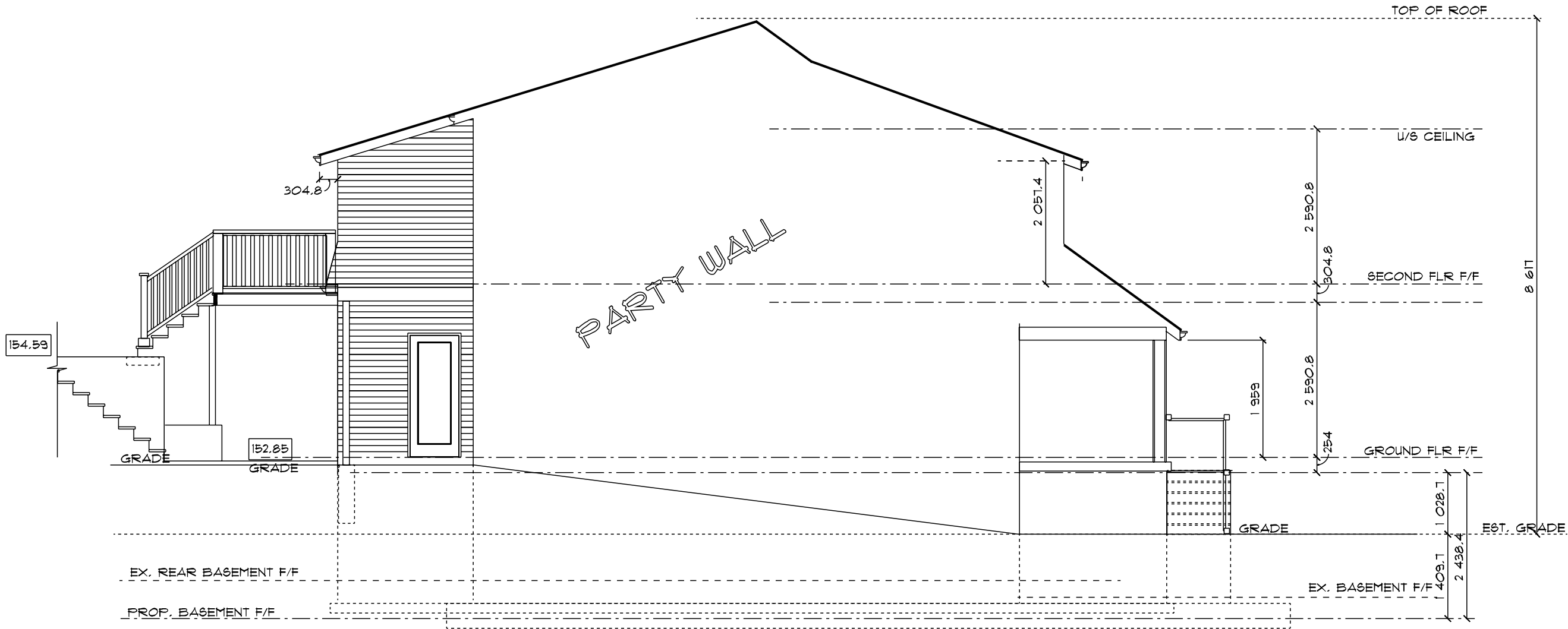
REQUIRED UNLESS DESIGN IS
EXEMPT UNDER DIVISION C - 3.2.5.1
OF THE 2006 ONTARIO BUILDING
CODE (OR 2.1.1.4.1 OF THE 1997
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REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS
EXEMPT UNDER DIVISION C - 3.2.5.1
OF THE 2006 ONTARIO BUILDING
CODE (OR 2.1.1.4.1 OF THE 1997
ONTARIO BUILDING CODE)

FIRM JONATHAN HATCH LTD.
BCIN 38111

NAME JONATHAN HATCH
BCIN 31321

SIGNATURE



PROP WEST ELEVATION

SCALE: 1:75

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DO NOT SCALE DRAWINGS

DATE	ISSUE/REVISION

DATE	ISSUE/REVISION

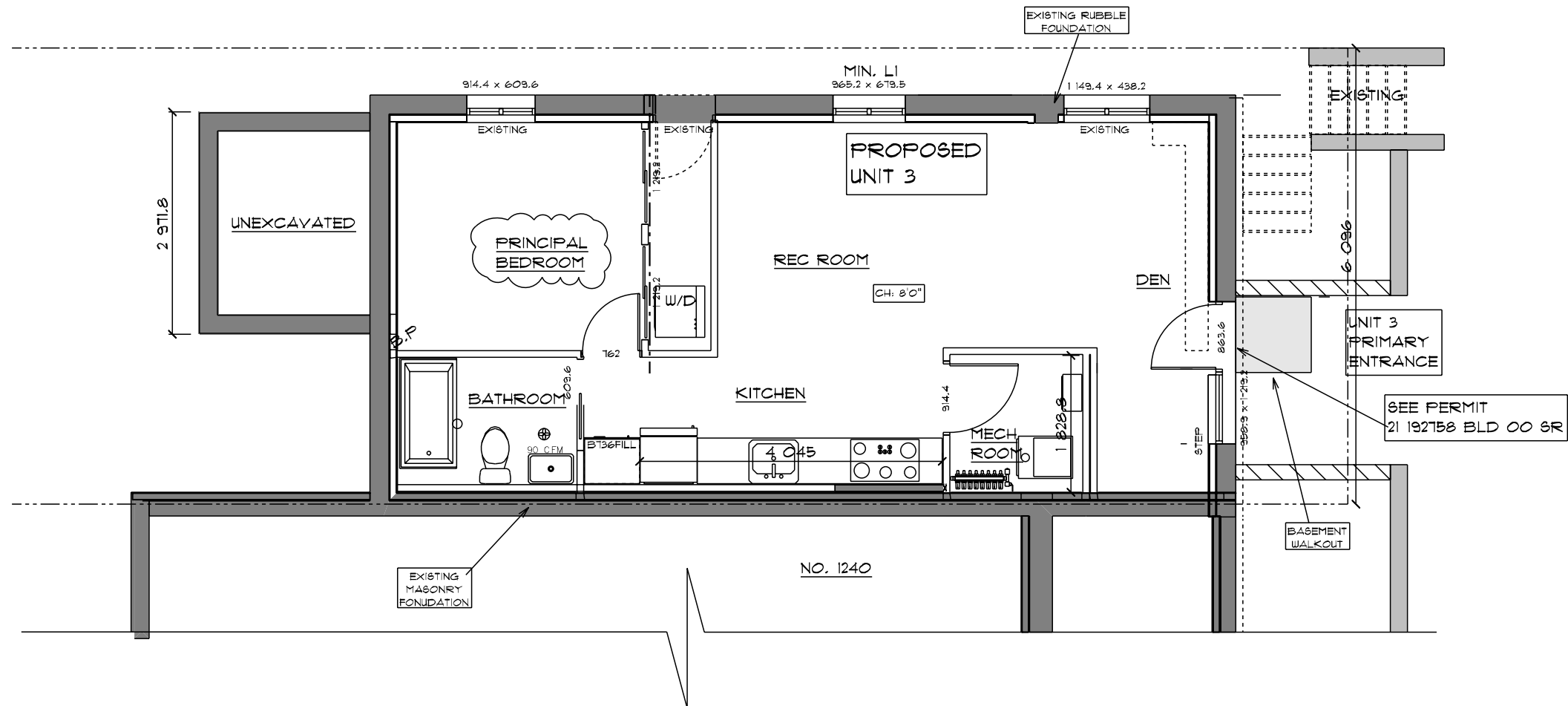
DETAIL PROP. WEST ELEVATION	
DWN BY	DATE
	2022-05-12
SCALE	
1:75	

PROJECT
1238 DAVENPORT RD

SHT No
13
DWG No



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QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.1.4.1 OF THE 1991 ONTARIO BUILDING CODE)	FIRM JONATHAN HATCH LTD. BCIN 38111
NAME JONATHAN HATCH BCIN 31321	SIGNATURE



PROP BASEMENT PLAN

SCALE: 1:75

WALL SCHEDULE	
	PROPOSED INTERIOR WOOD FRAME PARTITIONS- AS MARKED
	EXISTING INTERIOR WOOD FRAME PARTITIONS- AS MARKED
	EXISTING MASONRY WALLS- AS MARKED
	PROPOSED EXTERIOR FRAME WALLS, SIDING/STUCCO - AS MARKED
	PROPOSED EXTERIOR FRAME WALLS WITH BRICK VENEER - AS MARKED

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DO NOT SCALE DRAWINGS

DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

DETAIL

PROP. BASEMENT

DWN BY	DATE
	2022-05-12

SCALE

1:75

PROJECT

1238 DAVENPORT RD

SHT No

14

DWG No

HATCH
DESIGNS
416 333 0941
jon@hatchdesigns.ca

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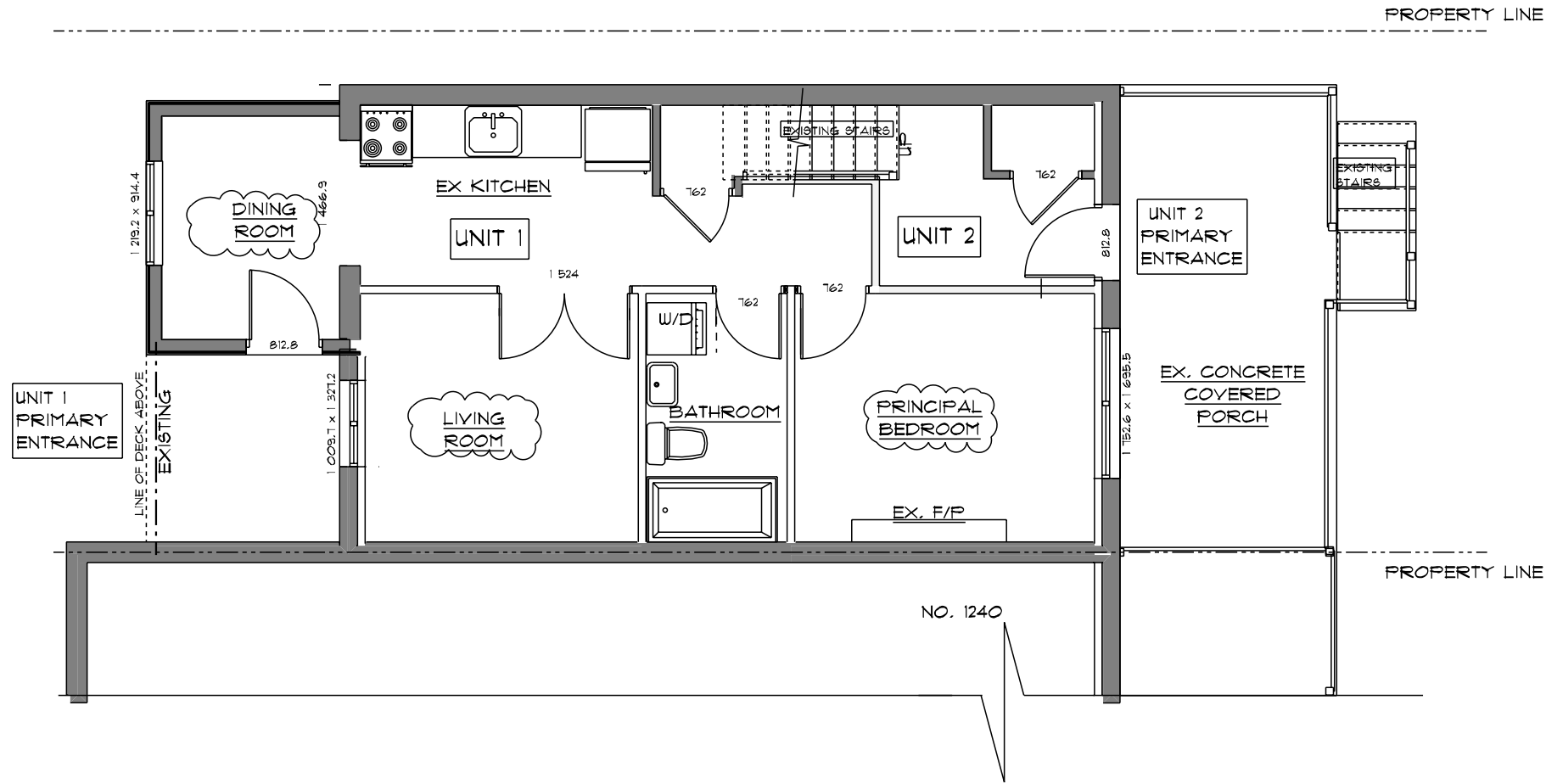
REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.17.4.1 OF THE 1997 ONTARIO BUILDING CODE)

FIRM JONATHAN HATCH LTD.
BCIN 38111

NAME JONATHAN HATCH
BCIN 31321

SIGNATURE



PROP GROUND FLOOR

SCALE: 1:75

WALL SCHEDULE

	PROPOSED INTERIOR WOOD FRAME PARTITIONS- AS MARKED
	EXISTING INTERIOR WOOD FRAME PARTITIONS- AS MARKED
	EXISTING MASONRY WALLS- AS MARKED
	PROPOSED EXTERIOR FRAME WALLS, SIDING/STUCCO - AS MARKED
	PROPOSED EXTERIOR FRAME WALLS WITH BRICK VENEER - AS MARKED

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DO NOT SCALE DRAWINGS

DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

DETAIL PROP. GROUND FLOOR

DWN BY DATE
2022-05-12

SCALE
1:75

PROJECT

1238 DAVENPORT RD

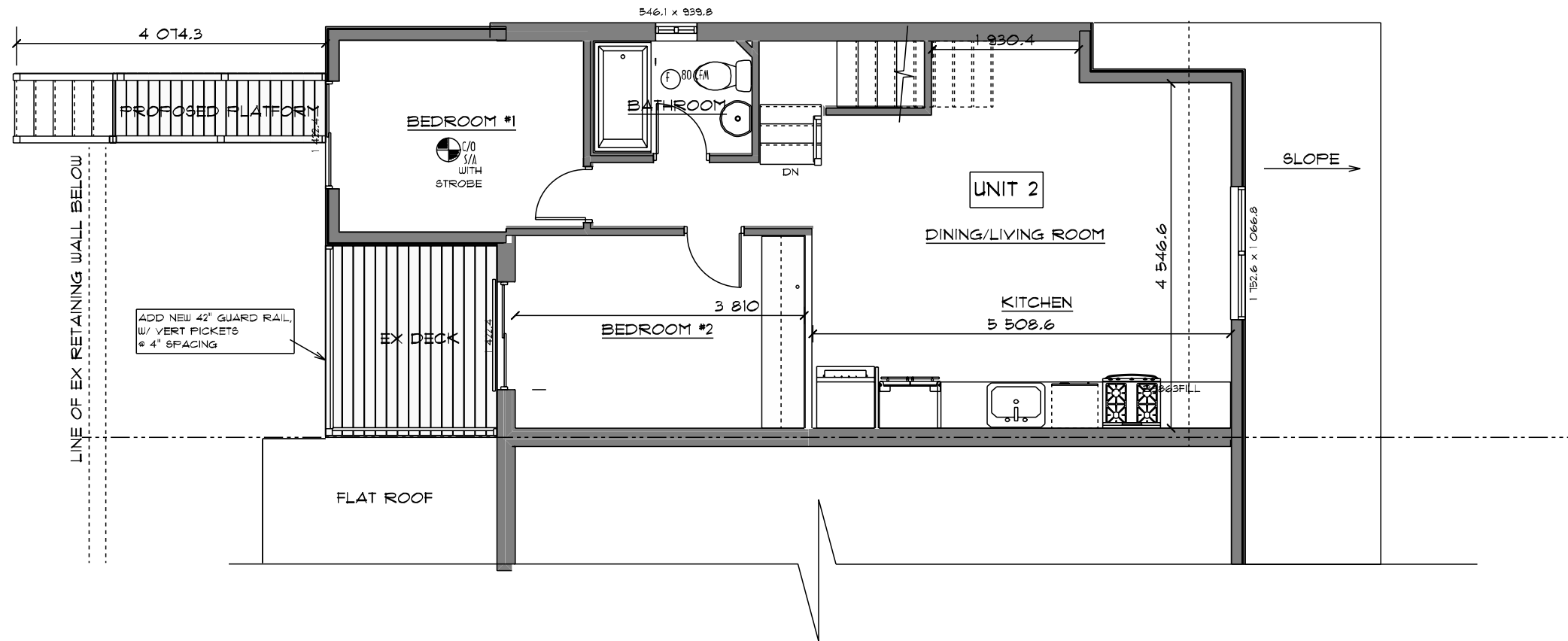
SHT No

15

DWG No

**HATCH
DESIGNS**
416 333 0941
jon@hatchdesigns.ca

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NAME JONATHAN HATCH BCIN 31321	FIRM JONATHAN HATCH LTD. BCIN 38111 SIGNATURE



PROP SECOND FLOOR

SCALE: 1:75

WALL SCHEDULE

- PROPOSED INTERIOR WOOD FRAME PARTITIONS- AS MARKED
- EXISTING INTERIOR WOOD FRAME PARTITIONS- AS MARKED
- EXISTING MASONRY WALLS- AS MARKED
- PROPOSED EXTERIOR FRAME WALLS, SIDING/STUCCO - AS MARKED
- PROPOSED EXTERIOR FRAME WALLS WITH BRICK VENEER - AS MARKED

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DO NOT SCALE DRAWINGS

DATE	ISSUE/REVISION	DATE	ISSUE/REVISION

DETAIL PROP. SECOND FLOOR	
DWN BY	DATE
	2022-05-12
SCALE 1:75	

PROJECT
1238 DAVENPORT RD

SHT No
16
DWG No

HATCH
DESIGNS
416 333 0941
jon@hatchdesigns.ca

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QUALIFICATION INFORMATION
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REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE (OR 2.17.4.1 OF THE 1997 ONTARIO BUILDING CODE)

FIRM JONATHAN HATCH LTD.
BCIN 38111

NAME JONATHAN HATCH
BCIN 31321

SIGNATURE

SIGNATURE _____