

CLIENT:

MECHANICAL CONSULTANT:

STRUCTURAL CONSULTANT:

SHEET NUMBER    SHEET NAME

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DETACHED DWELLING

REGAL ROAD, TORONTO, ON  
89-1

ZONING AND SITE STATISTICS

PROJECT	DETACHED HOUSE		
ADDRESS	89-1 REGAL ROAD		
MUNICIPALITY	TORONTO		
ZONING DESIGNATION:	R (d0.6) (x730)		
LOT AREA	455.54 m2 4,903.43 sf		
	PERMITTED	EXISTING	PROPOSED
LOT FRONTAGE	6.00 m	- m	8.80 m
FSI			
BASEMENT (CERTAIN BASEMENT DWELLINGS)		0.00 m2	0.00 m2
1ST FLR		0.00 m2	99.69 m2
2ND FLR		0.00 m2	113.21 m2
3RD FLR		0.00 m2	88.69 m2
	273.32 m2 2,942.06 sf	0.00 m2 0.00 sf	301.59 m2 3,246.31 sf
0.60			0.66
SETBACKS			
INLINE LOT			
FRONT	8.78 m	0.00 m	8.78 m
SIDE	0.90 m	0.00 m	1.20 m
SIDE 10.10.40.70 (4)	0.45 m	0.00 m	0.45 m
REAR	7.50 m	0.00 m	24.77 m
BUILD DEPTH	17.00 m	0.00 m	18.64 m
BUILDING HEIGHT			
PRINCIPAL	10.00 m	0.00 m	10.00 m
WALL HEIGHT	7.50 m	0.00 m	8.00 m
TOP OF 1st FLOOR	1.20 m	0.00 m	0.15 m

FRONT YARD LANDSCAPE AREA (TORONTO)			
FRONT YARD AREA	- m2	80.94 m2	
SUBTRACT FRONT DRIVEWAY/PARKING AREA	- m2	(25.14) m2	
	40.47 m2	50%	55.80 m2
68.9%			
PORCH & STAIRS AREA	- m2	- m2	
WALKWAY AREAS	- m2	7.12 m2	
HARD SURFACING AREAS	- m2	- m2	
RETAINING WALL AREAS	- m2	- m2	
HARD LANDSCAPING TOTAL	- m2	7.12 m2	
FRONT YARD SOFT LANDSCAPING	30.35 m2	75%	48.68 m2
87.2%			
REAR YARD SOFT LANDSCAPE AREA (TORONTO)			
REAR YARD AREA	- m2	217.31 m2	
SUBTRACT GARAGE AREA	- m2	- m2	
SUBTRACT DECK AREA	- m2	(24.48) m2	
SUBTRACT HARD SURFACES	- m2	(22.14) m2	
	- m2	170.69 m2	
SOFT LANDSCAPE AREA, LOT FRONTAGE >6m	50%		78.5%

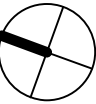
AVERAGE GRADE CALCULATION

MARK	ELEV.
A1	144.15
A2	144.71
2	288.86
AG:	144.43

LEGEND:

	EXISTING BUILDING
	PROPOSED BUILDING
	SOFT LANDSCAPE
	FRONT AND REAR YARD AREA
	DECORATIVE PAVERS AND PATHS
	ASPHALT
	PROPERTY LINE
	EXISTING ELEMENTS TO REMOVE

SURVEY INFORMATION TAKEN FROM:  
SURVEYOR'S REAL PROPERTY REPORT, PART 1  
PLAN OF SURVEY OF PART OF LOT 10 REGISTERED PLAN D1398 PART OF NORTHCLIFF BOULEVARD,  
(CLOSED BY-LAW 18801, INSTRUMENT No. WD81994  
AND BY-LAW 18873 INSTRUMENT No. WD82751)  
REGISTERED PLAN 1296, CITY OF TORONTO,  
BY JACEK WALCZAK ONTARIO LAND SURVEYOR  
OCTOBER 18, 2021



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DETACHED DWELLING  
89-1

89-1 REGAL ROAD, TORONTO, ON

Sheet Name

SITE PLAN

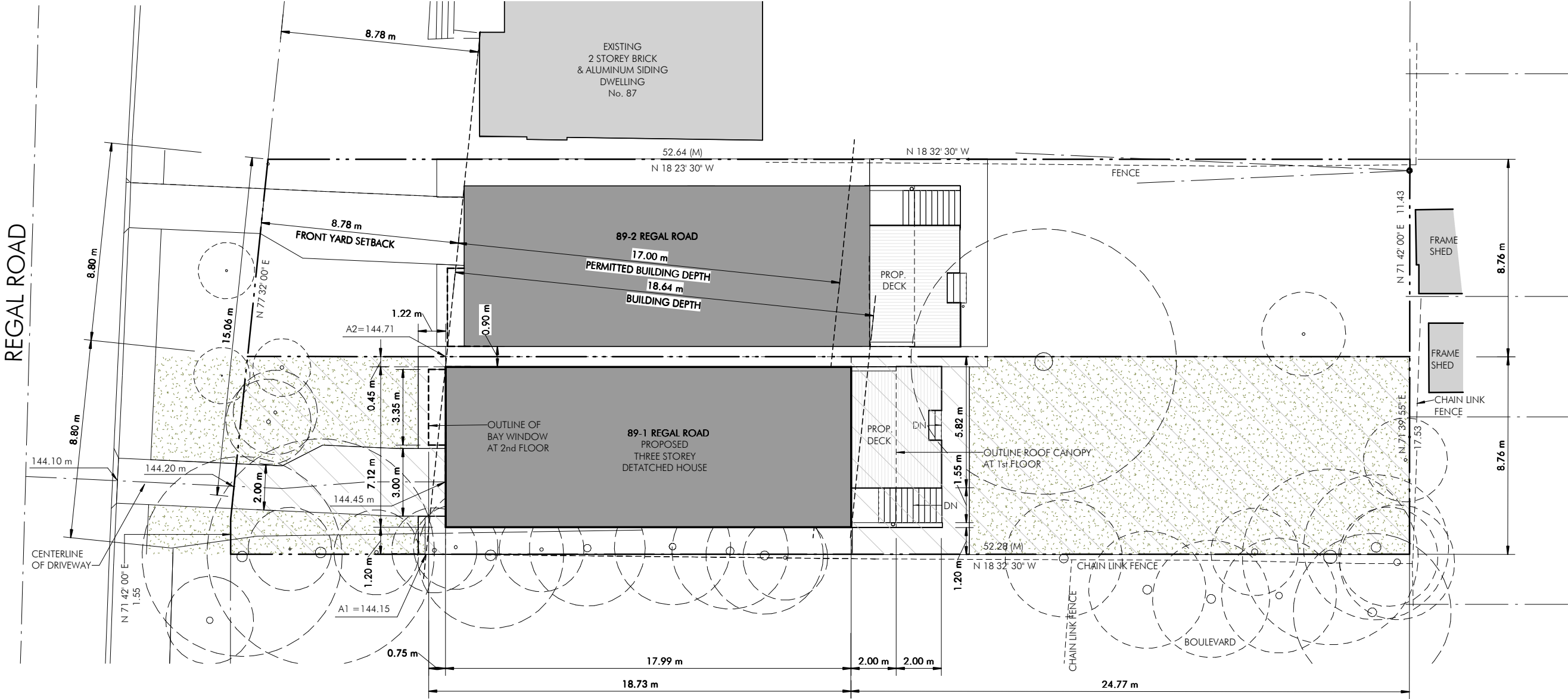
Project No: 2127

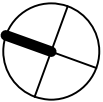
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A-01





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DETACHED DWELLING  
89-1

89-1 REGAL ROAD, TORONTO, ON

Sheet Name

PROPOSED BASEMENT PLAN

Project No: 2127

Drawn By: PM Checked By: BS

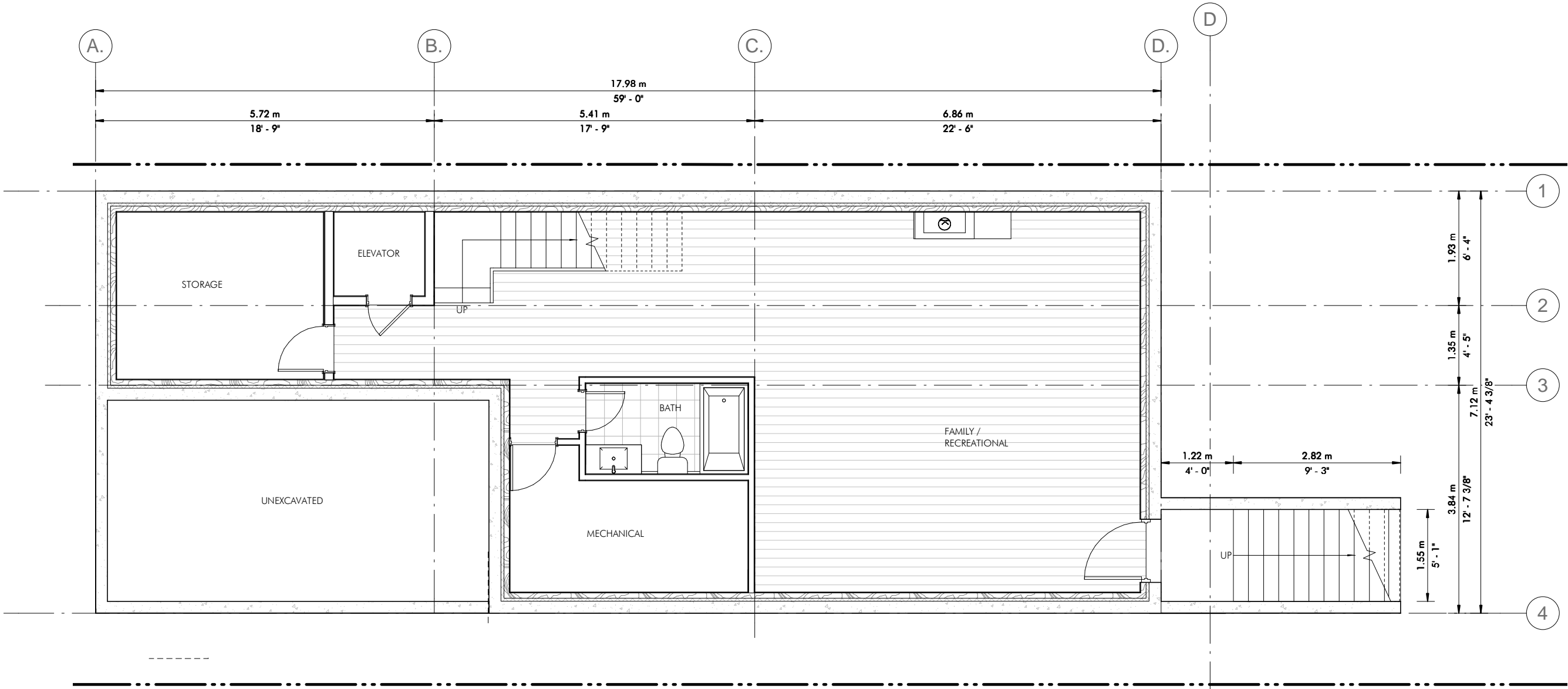
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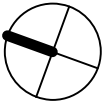
A-03

LEGEND:

- EXISTING ELEMENTS TO REMAIN
- NEW CONSTRUCTION
- PROPERTY LINE
- SA SMOKE ALARM IN ACCORDANCE WITH OBC 9.10.19
- CO CARBON MONOXIDE ALARM IN ACCORDANCE WITH OBC 9.33.4



1 PROPOSED BASEMENT PLAN  
1 : 75



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DETACHED DWELLING  
89-1

89-1 REGAL ROAD, TORONTO, ON

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PROPOSED 1st FLOOR PLAN

Project No: 2127

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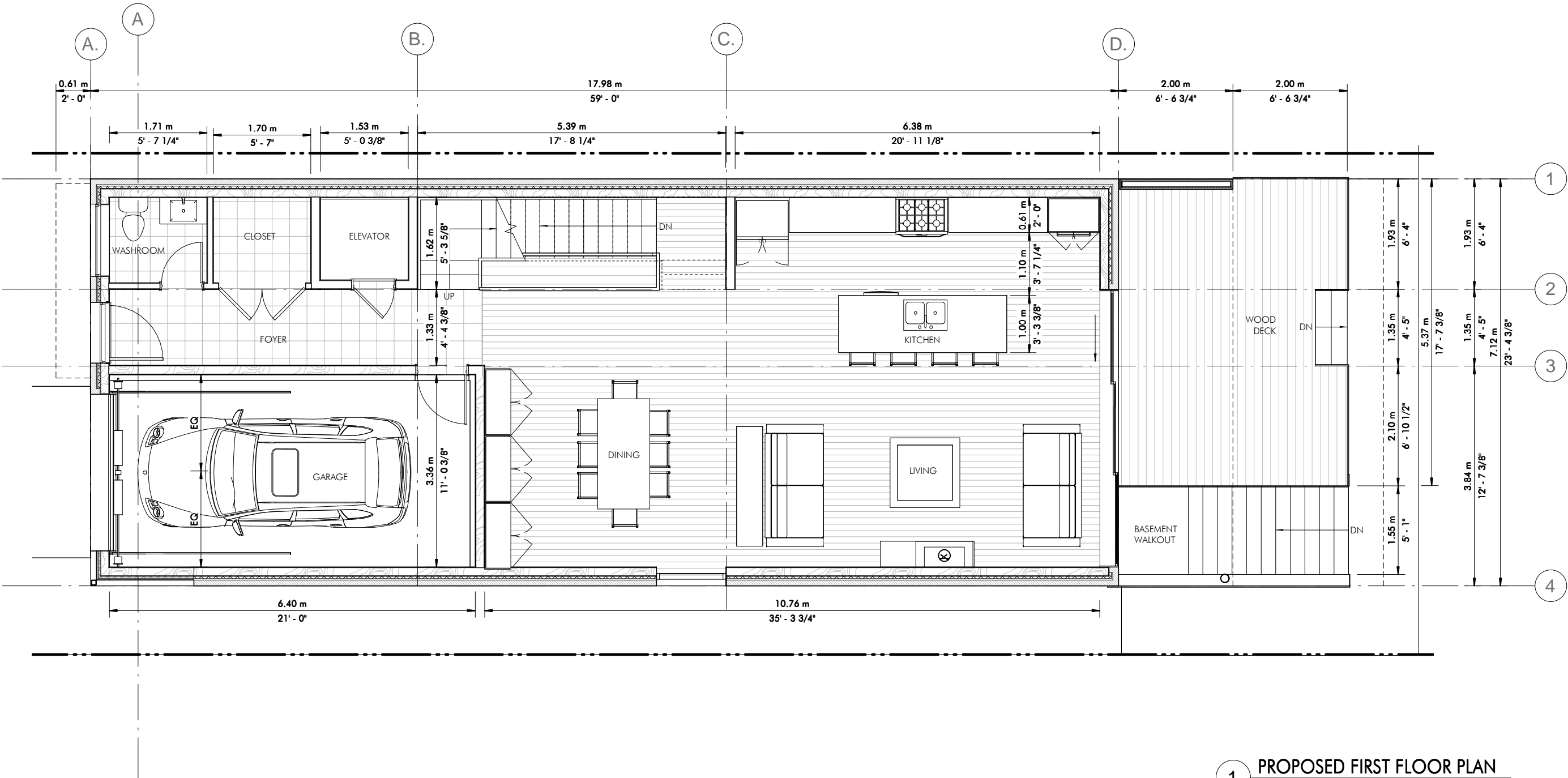
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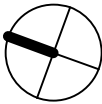
A-04

LEGEND:

- EXISTING ELEMENTS TO REMAIN
- NEW CONSTRUCTION
- PROPERTY LINE
- SA SMOKE ALARM IN ACCORDANCE WITH OBC 9.10.19
- CO CARBON MONOXIDE ALARM IN ACCORDANCE WITH OBC 9.33.4



1 PROPOSED FIRST FLOOR PLAN  
1 : 75



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DETACHED DWELLING  
89-1

89-1 REGAL ROAD, TORONTO, ON

Sheet Name

PROPOSED 2nd FLOOR PLAN

Project No: 2127

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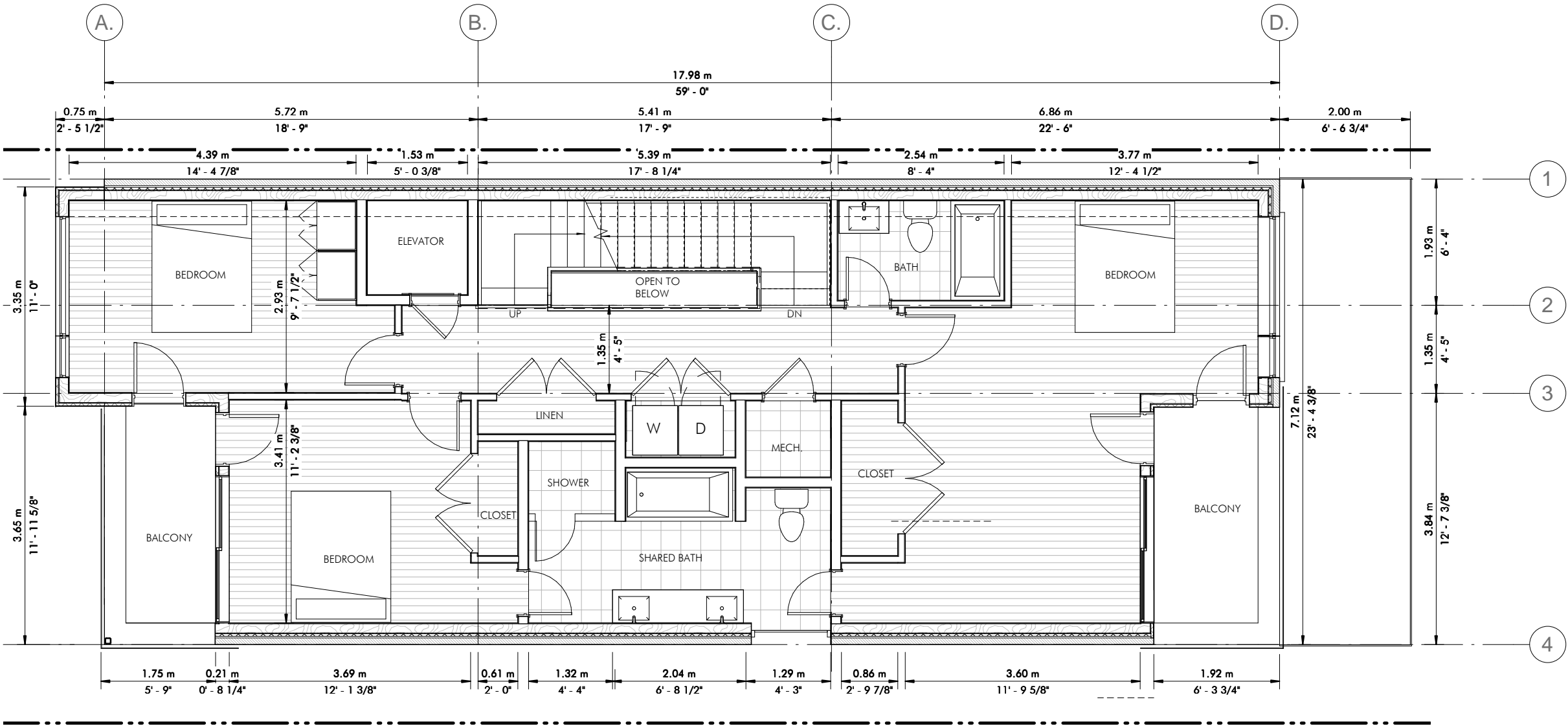
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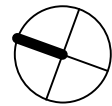
A-05

LEGEND:

- EXISTING ELEMENTS TO REMAIN
- NEW CONSTRUCTION
- PROPERTY LINE
- SA SMOKE ALARM IN ACCORDANCE WITH OBC 9.10.19
- CO CARBON MONOXIDE ALARM IN ACCORDANCE WITH OBC 9.33.4



1 PROPOSED SECOND FLOOR PLAN  
1 : 75



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89-1 REGAL ROAD, TORONTO, ON

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PROPOSED 3rd FLOOR PLAN

Project No: 2127

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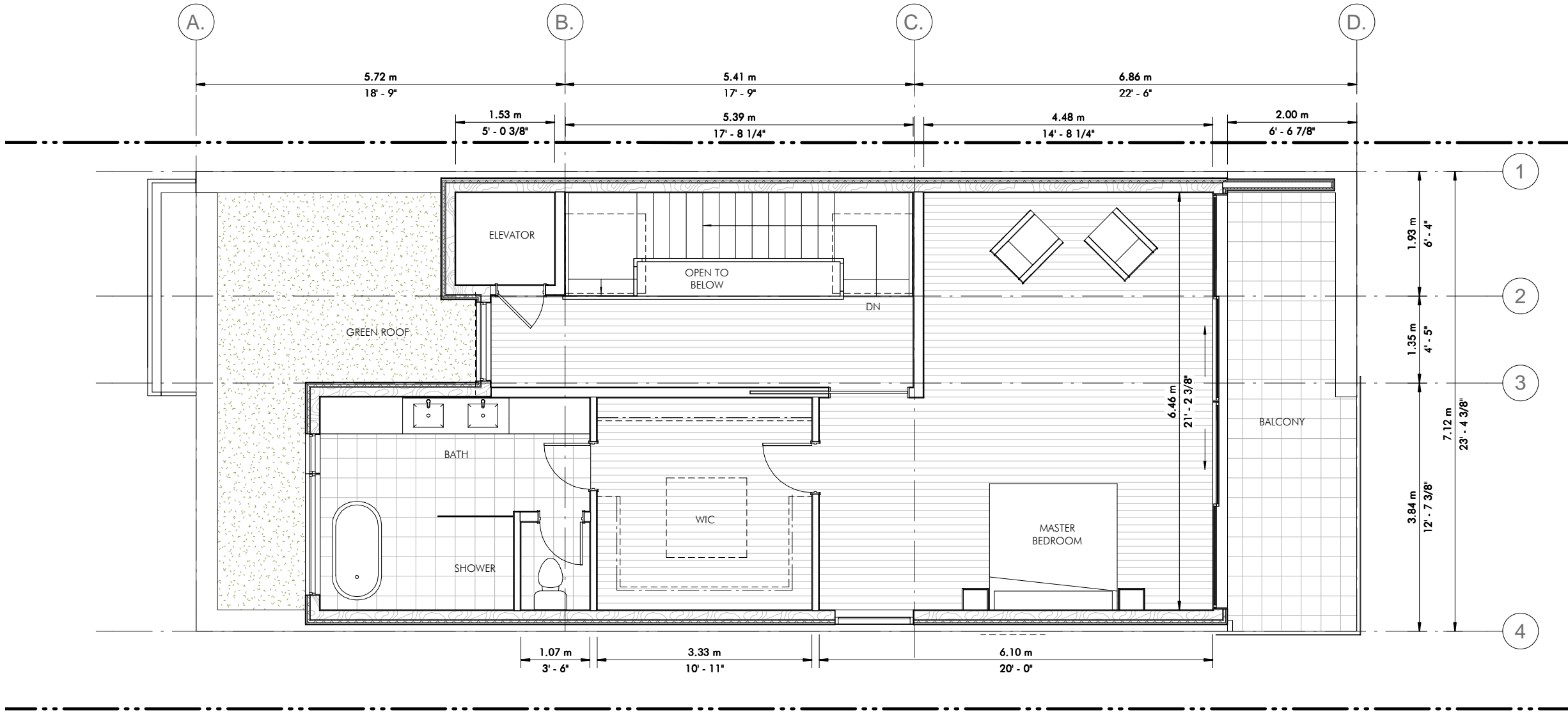
A-06

LEGEND:

- EXISTING ELEMENTS TO REMAIN
- NEW CONSTRUCTION
- PROPERTY LINE
- SA

SMOKE ALARM IN ACCORDANCE WITH OBC 9.10.19
- CO

CARBON MONOXIDE ALARM IN ACCORDANCE WITH OBC 9.33.4



1 3rd FLOOR PLAN  
1 : 75



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ROOF PLAN

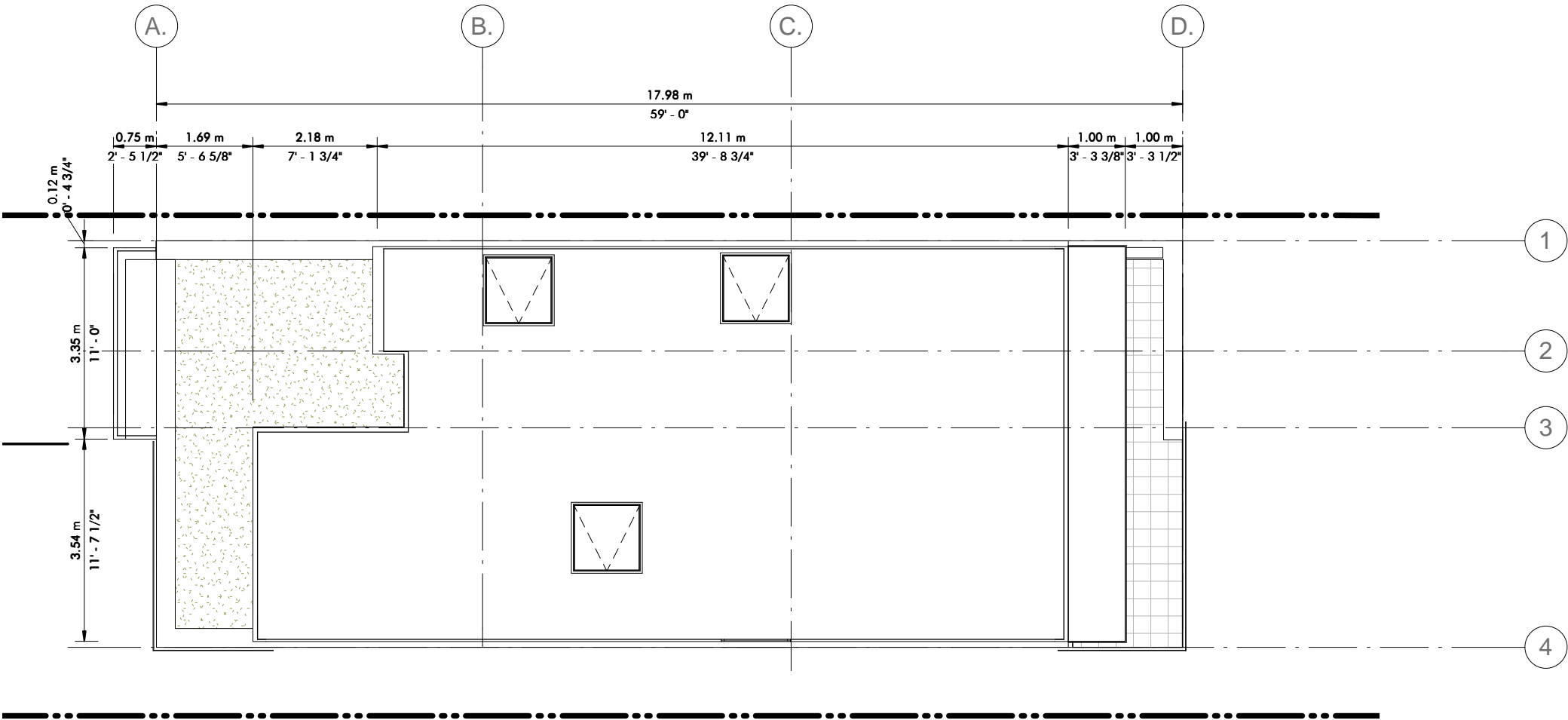
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A-07



1 ROOF PLAN  
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89-1 REGAL ROAD, TORONTO, ON

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NORTH ELEVATION

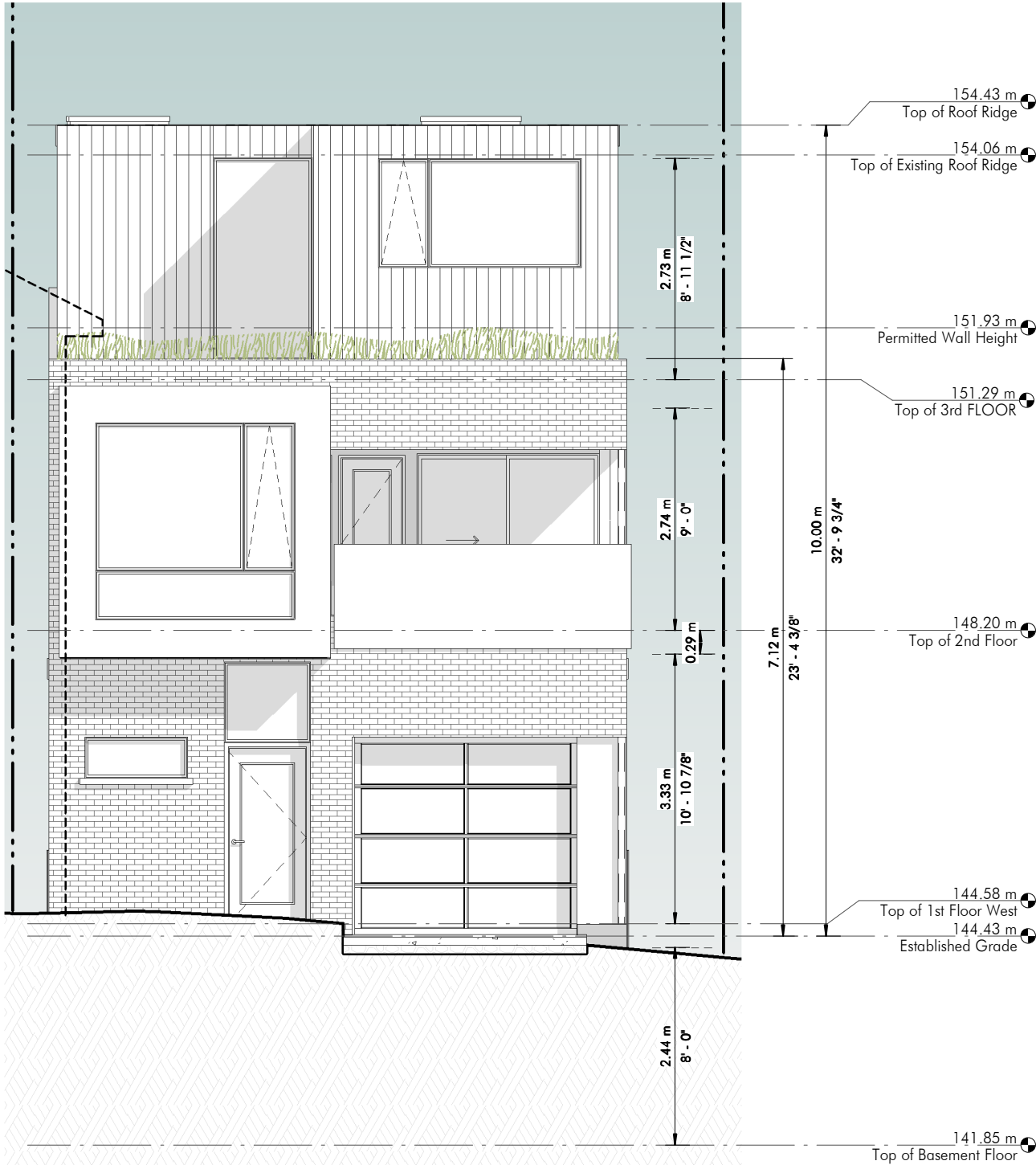
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A-08



1 NORTH ELEVATION  
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89-1 REGAL ROAD, TORONTO, ON

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SOUTH ELEVATION

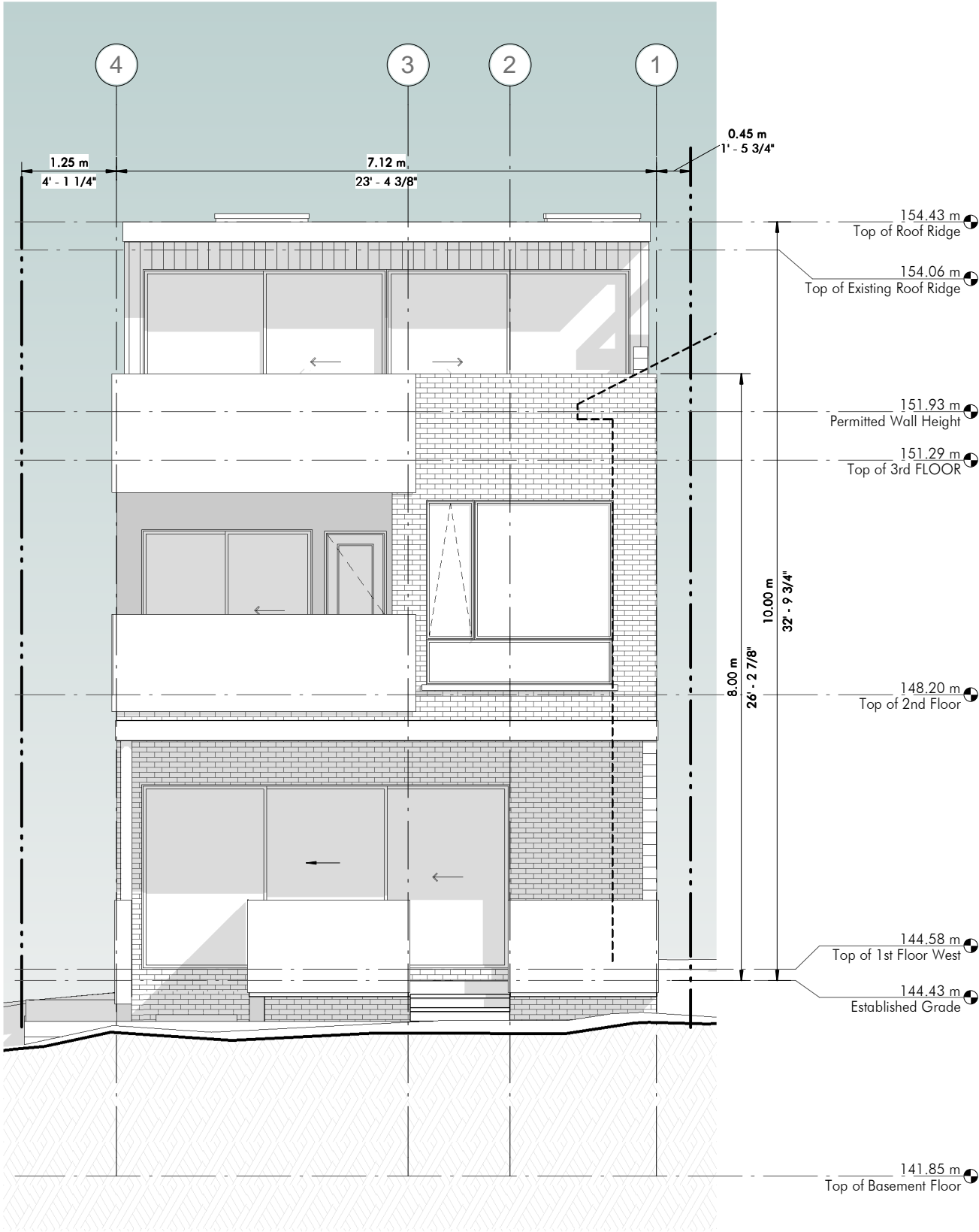
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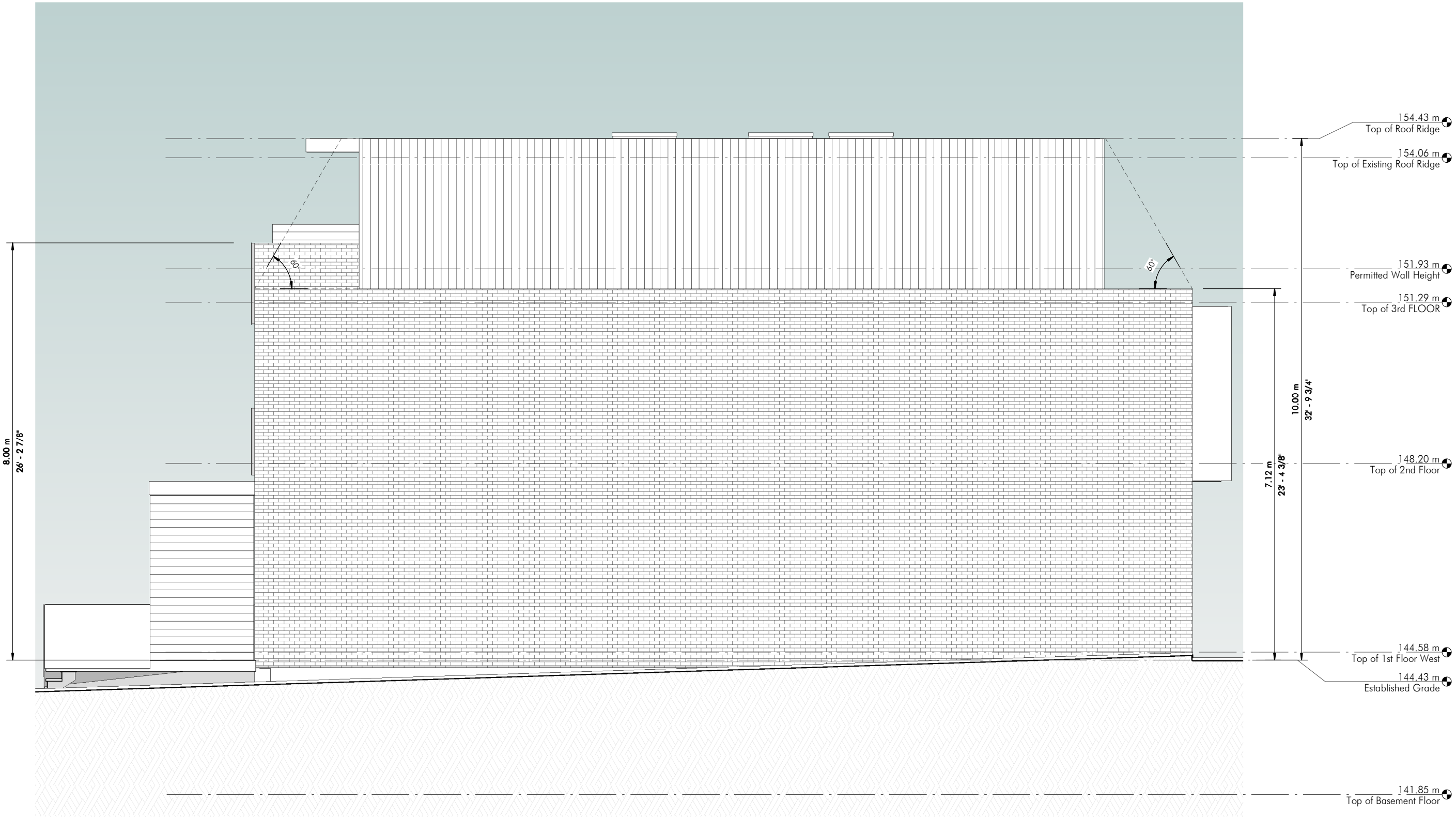
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A-09





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### Sheet Name

EAST ELEVATION

Project No: 2127

Drawn By: PM Checked By: BS

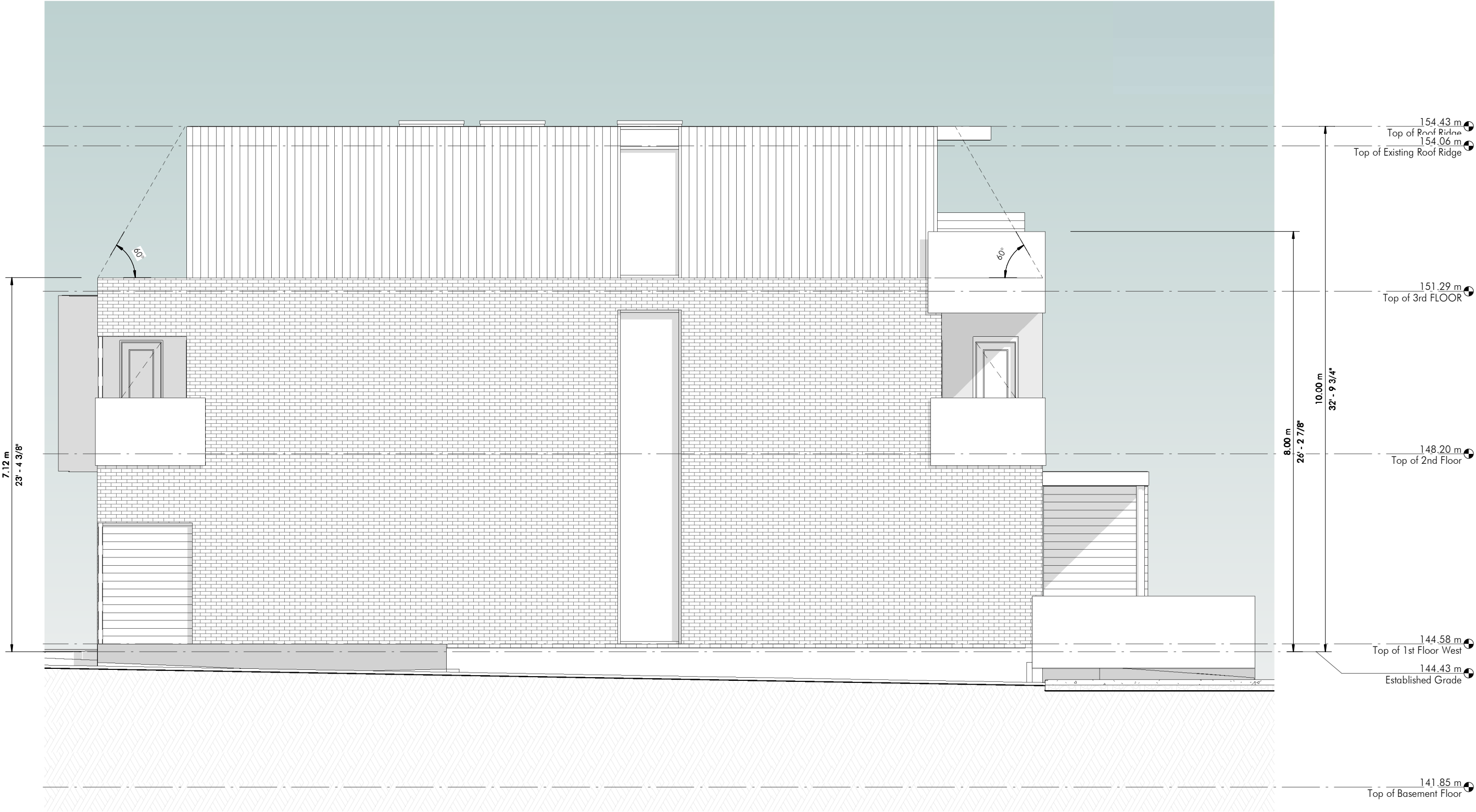
Scale: As noted

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1 EAST ELEVATION  
1 : 75

A-10

TOTAL EXPOSING BUILDING FACE	WEST	169.98 m <sup>2</sup>
LIMITING DISTANCE	1.20m	
MAXIMUM % OF UNPROTECTED OPENINGS	7%	
PORTION OF EXPOSING BUILDING FACE		169.98 m <sup>2</sup>
UNPROTECTED OPENINGS IN PORTION OF EBF	1	9.44
	1	
	1	
	1	
TOTAL		9.44 m <sup>2</sup>
% UNPROTECTED OPENINGS PERMITTED	7%	11.9 m <sup>2</sup>
% UNPROTECTED OPENINGS PROPOSED	6%	
EBF FRR	0 HR	



THE CONSTRUCTOR SHALL REFER TO THE SPECIFICATIONS AND CONSTRUCTION NOTES ATTACHED TO THE PERMIT. CONSTRUCTION NOTES ARE REFERENCED BY THE SYMBOL 1

CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. DIMENSIONS INDICATED ARE TAKEN AT FACES OF FINISHED SURFACES UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.

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ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH PROJECT MANUALS AND SPECIFICATIONS AND THE STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE DRAWINGS & SPECIFICATIONS. IN CASES OF DISCREPANCIES BETWEEN CONSULTANTS' DOCUMENTS WITH RESPECT TO QUALITY, SIZES OF SCOPE OF WORK, THE CREATOR SHALL APPLY.

THE CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR WORKING WITH DRAWINGS, NOT MARKED "ISSUED FOR CONSTRUCTION" AND FOR ANY CHANGES TO THE DESIGN WITHOUT THE EXPRESS APPROVAL OF BART SZOKE ARCHITECT INC.

ALL WORK TO CONFORM TO ALL GOVERNING CODES AND BY-LAWS.

#### Structural

ISSUED FOR 1ST CLIENT REVIEW:  
ISSUED FOR 2ND CLIENT REVIEW:  
ISSUED FOR FINAL CLIENT REVIEW:  
ISSUED FOR TENDER:  
ISSUED FOR BUILDING PERMIT:  
ISSUED FOR CONSTRUCTION:

Project Name

DETACHED DWELLING  
89-1

89-1 REGAL ROAD, TORONTO, ON

Sheet Name

WEST ELEVATION

Project No: 2127

Drawn By: PM Checked By: BS

Scale: As noted

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1 WEST ELEVATION  
1 : 75

A-11





DETACHED  
DWELLING

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DETACHED  
DWELLING

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