

**Mailed on/before:** Monday, October 1, 2018

**PUBLIC HEARING NOTICE  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**MEETING DATE AND TIME:** Thursday, October 11, 2018 at 10:00 a.m.

**LOCATION:** Council Chamber, York Civic Centre, 2700 Eglinton Av W, M6M 1V1

**File Number:** A0671/18EYK  
**Property Address:** 1144 DAVENPORT RD  
**Legal Description:** PLAN M312 PT BLK C  
**Agent:** BRANDER ARCHITECTS INC  
**Owner(s):** PERCY ELLIS HOLDINGS INC. PERCY ELLIS HOLDINGS INC  
**Zoning:**  
**Ward:** Davenport (17)  
**Community:**  
**Heritage:** Not Applicable

**PURPOSE OF THE APPLICATION:**

To construct a three-storey rear addition and to convert the existing commercial use on the ground floor into additional dwelling units, the building will have a total of six dwelling units.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Section 8(2)(1)(A), By-law 438-86**  
The 6 dwelling units are not a permitted use in a MCR zone.
- 2. Section 8(3) Part I3(a), By-law 438-86**  
The maximum permitted residential gross floor area is 1.5 times the lot area (307.4 m<sup>2</sup>).  
The altered building will have a residential gross floor area of 2.07 times the lot area (424.9 m<sup>2</sup>).

**THE COMMITTEE OF ADJUSTMENT & MINOR VARIANCES**

The role of the Committee of Adjustment is to provide flexibility in dealing with minor adjustments to zoning by-law requirements. To approve such variances, the Committee must be satisfied that:

- the variance requested is minor;
- the proposal is desirable for the appropriate development or use of the land and/or building;

- the general intent and purpose of the City's Zoning Code and/or By-law are maintained; and
- the general intent and purpose of the Official Plan are maintained.

The Committee of Adjustment forms its opinion through its detailed review of all material filed with an application, letters received, deputations made at the public hearing and results of site inspections.

### **MAKING YOUR VIEWS KNOWN**

The notice has been mailed to you, as required by the *Planning Act*, to ensure that, as an interested person, you may make your views known by:

- **Attending the Public Hearing.** Attendant Care Services can be made available with some advance notice.
- **Sending a letter by Mail, E-mail, or Fax.** Information you choose to disclose in your correspondence will be used to receive your views on the relevant issue(s) to enable the Committee to make its decision on this matter. This information will become part of the public record.

If you do not attend the public hearing, or express your views in writing, the Committee may make a decision in your absence, and may recommend changes to the proposal

### **TO VIEW THE MATERIALS IN THE APPLICATION FILE**

Application plans and other related materials are available to be viewed **online** by visiting the Application Information Centre at [www.toronto.ca/aic](http://www.toronto.ca/aic)

If you are not able to view plans online, copies of application submissions can be obtained, **in person**, by attending the Committee of Adjustment office at the above address Monday to Friday, 8:30 a.m. to 4:30 p.m. Service fees may apply.

### **RECEIVING A COPY OF THE COMMITTEE'S DECISION**

- The Committee will announce its decision on the application at the Public Hearing.
- To receive a copy of the Decision, fill out the Decision Request Form at our office or at the Public Hearing or write a letter requesting a copy of the Decision and send it to our office.
- If you wish to appeal a Decision of the Committee, you must file your written request for a decision with the Deputy Secretary-Treasurer.
- Be advised that the appeal body may dismiss an appeal of the consent Decision if the person or public body that filed the appeal did not make a submission to the Committee of Adjustment prior to the Decision having been made.

### **CONTACT**

Nicole Milrose, Application Technician  
Tel. No.: (416) 394-8065  
E-mail: [Nicole.Milrose@toronto.ca](mailto:Nicole.Milrose@toronto.ca)

<input type="checkbox"/> Toronto and East York Panel Toronto City Hall 100 Queen Street West Toronto, Ontario M5H 2N2 416-397-5330	<input type="checkbox"/> North York Panel North York Civic Centre 5100 Yonge Street Toronto, Ontario M2N 5V7 416-397-5330	<input type="checkbox"/> Scarborough Panel Scarborough Civic Centre 150 Borough Drive Toronto, Ontario M1P 4N7 416-397-5330	<input checked="" type="checkbox"/> Etobicoke York Panel 2 Civic Centre Court Toronto, Ontario M9C 5A3 416-397-5330
---	--	--	---

## Acknowledgement of Public Info

The applicant grants the City permission to reproduce, in whole or in part, any document submitted as part of a complete application for internal use, inclusion in staff reports or distribution to the public either online or by other means for the purpose of application review. The applicant agrees to provide a reasonable number of copies of any such document, or parts thereof, in paper and/or electronic form, to the City for internal use and distribution to the public either online or by other means for the purposes of application review.

If the applicant, believes there may be a security risk by allowing the public access to any portion of these documents, you must indicate the portion of the documents to which you believe this concern applies, along with supporting documentation outlining the reasons for your concern along with the document submitted as part of the application. The Chief Planner, or delegate, will consider but will not be bound to agree with such submissions prior to reproduction, in whole or in part, any identified portions for internal use, inclusion in staff reports or public distribution to the application review.

Please contact your district office for more detailed information about the application requirements and the Committee of Adjustment process.

Address of Subject Land (Street Number/Name) 1144 DAVENPORT RD	Application Number ▶	
	IBMS Row I.D.	Zoning MCR
	Official Plan Designation NEIGHBOURHOODS	Ward DAVENPORT (17)

Legal Description  
PLAN BLOCK C, REG. PLAN M-312

Registered Owner of Subject Land (as it appears on Deed/Transfer) PERCY ELLIS HOLDINGS INC.	E-mail JBURTON@PERCYELLIS.COM
--	----------------------------------

Mailing Address 494 EASTERN AVENUE	City TORONTO	Postal Code M4M 1C5
---------------------------------------	-----------------	------------------------

Telephone (area code + number) 416-645-8498	Fax (area code + number)
---	--------------------------

Applicant (name in full) ADAM BRANDER	E-mail AB@BRANDERARCHITECTS.COM
--	------------------------------------

Applicant is: ☐ Owner ☐ Lawyer ☒ Architect ☐ Agent ☐ Contractor ☐ Other

Mailing Address 49 BOULTON AVENUE	City TORONTO	Postal Code M4M 2J4
--------------------------------------	-----------------	------------------------

Telephone (area code + number) 416-473-6956	Fax (area code + number)
---	--------------------------

Dimensions of land affected: Frontage 6.84 m	Depth 30.44 m	Area 200.7 m <sup>2</sup>
--	---------------	---------------------------

Road Access: ☐ Provincial Highway ☒ Municipal Street ☐ Public Lane ☐ Private Right-of-way

Servicing: Municipal Water <input type="checkbox"/> available <input checked="" type="checkbox"/> connected	Municipal Sanitary Sewers <input type="checkbox"/> available <input checked="" type="checkbox"/> connected	Municipal Storm Sewers <input type="checkbox"/> available <input checked="" type="checkbox"/> connected	Other (septic)
---	---	--	----------------

Date of acquisition of subject property: 2016

Date of construction of buildings or structures on subject property: EARLY 1900s

Length of time existing uses have continued: SINCE CONSTRUCTION

Is the property the subject of any other current or previous planning application? ☐ Yes File No. \_\_\_\_\_ ☒ No

Has City Council listed and/or designated the property as having cultural heritage value? ☐ Yes ☒ No

Is the property subject to the Ravine Bylaw or Private Tree Bylaw? ☐ Yes ☒ No

## Ravine Protection By-law

If your property is located within or partially within a Ravine Protection Area, you are required to apply to Urban Forestry Services of the City of Toronto's Parks, Forestry & Recreation Division for a permit when doing any work that may injure or destroy a tree, or involves placing or dumping fill or refuse, or altering the existing grade of land.

## Private Tree By-law

Trees on private property having a diameter of 30 cm or greater are protected. It is unlawful to injure or destroy such trees without first obtaining a permit from Urban Forestry Services of the City of Toronto's Parks, Forestry & Recreation Division to do so.

## City Owned Trees

All trees situated on City owned property, including City road allowance and City owned parkland, are protected by City of Toronto by-laws. City owned trees are protected by City of Toronto's "Tree Protection Policy and Specifications for Construction Near Trees". Call 416-338-TREE or visit [www.toronto.ca/trees](http://www.toronto.ca/trees)

It is recommended that tree(s) location, species, diameter and condition are identified on plans. Plans should also identify which trees will be injured or removed. Submission of an arborist report or tree protection plan is also recommended to describe potential tree impacts. Failing to identify tree(s) may result in delays, failure to issue or revocation of a building permit despite Committee of Adjustment approval.

Call 311 or visit [www.toronto.ca/trees](http://www.toronto.ca/trees) for further details.

## Minor Variances

Existing uses/structures (including height and dimensions or floor area, if applicable):

3 DWELLING UNITS, 1 COMMERCIAL KIOSK, EXISTING HEIGHT IS 8.0 METRES

Description of proposal (including height and dimensions or floor area, if applicable):

3RD STOREY ADDITION, INCREASE TO 6 DWELLING UNITS, REMOVE COMMERCIAL KIOSK

Building Setbacks:	Front lot line	Side lot line	Side lot line	Rear lot line
Existing	0.3 m	NA m	NA m	12.2 m
Proposed	SAME m	SAME m	SAME m	SAME m

Variances requested: ☒ Zoning review attached ☐ Applicants list of variances attached

Why is it not possible to comply?

DENSITY, MERCANTILE KIOSK

Related Applications, include file number(s):

☒ i) The property has not been the subject of a site specific by-law\*, passed after July 1, 2016.

☐ ii) The property has been the subject of a site specific by-law\* amendment, passed after July 1, 2016, and the City of Toronto has determined that this application is permitted. Attached is a copy of the authority that pertains to this application.

If you are unable to make declaration i) or ii) above, then you will not be permitted to submit this application. Please contact Community Planning for information on how to proceed with an application.

\* This does not include a City initiated site specific by-law.

## Consent

Type and purpose of transaction

☐ Conveyance – Total number of lots: \_\_\_\_\_ ☐ Lot Addition ☐ Easement/Right-of-way ☐ Mortgage/Discharge

☐ Lease ☐ Validation of Title ☐ Technical severance ☐ Other: \_\_\_\_\_

Conveyed lot:

Frontage:	m	Depth:	m	Area:	m <sup>2</sup>
-----------	---	--------	---	-------	----------------

Existing Use:

Proposed Use:

Transferee (if known):

Proposed easement/right-of-way:

Lot addition, identify the lands to which the parcel will be added:

Retained lot:

Frontage:	m	Depth:	m	Area:	m <sup>2</sup>
-----------	---	--------	---	-------	----------------

Existing:

Proposed:

Proposed easement/right-of-way:

Existing easements:

Related Applications, include file number(s):

---

## Authorization of Agent

I/We PERCY ELLIS HOLDINGS - JAMES BURTON authorize ADAM BRANDER  
 (name of owners) (name of agent/person authorized to sign application form)

to act as agent and sign the application form to the City of Toronto on my/our behalf for the property known as

1144 DAVENPORT ROAD  
 (municipal address of property)


Signature:  Date: 2018-08-28

Date: \_\_\_\_\_

## Sworn Declaration

I, ADAM BRANDER, BRANDER ARCHITECTS INC.  
 (name and company)  
 of 49 BOULTON AVENUE, TORONTO, ON M4M 2J4  
 (full address and postal code)

make oath and say (or solemnly declare) that the information contained in this application is true and that the information contained in the documents that accompany this application is true.

Signature of Applicant or Authorized Agent: 

## Fee Schedule – Effective January 1, 2018

### Minor Variances

	Regular Fee	After the Fact Fee*
Clear Title – i.e. to clear existing encumbrances from title where there is no proposed construction, illegal construction or change of use involved: . . . . .	\$1,184.21 = \$ _____	
Additions and alterations to existing dwellings with 3 units or less: . . . . .	\$1,580.26 = \$ _____	\$3,160.52 = \$ _____
Residential dwellings with 3 units or less: . . . . .	\$3,552.68 = \$ _____	\$7,105.36 = \$ _____
All other residential, commercial, industrial or institutional: . . . . .	\$4,598.06 = \$ _____	\$9,196.12 = \$ _____
* After the Fact Fee is applied when an Order to Comply (OTC) - Work No Permit - relevant to the application has been issued on any of the subject lands.	\$ <input type="text"/>	\$ <input type="text"/>
<b>TOTAL</b>	\$ <input type="text"/>	\$ <input type="text"/>

## Consent

Sever 1 lot into 2 (includes deed stamping)  
 and/or establishment of new easement/right-of-way: . . . . . \$5,728.90 = \$ \_\_\_\_\_  
 Additional Fee for each additional lot created: . . . . . \$4,651.87 = \$ \_\_\_\_\_  
 Validation of Title, Technical Severance, leases, mortgage/  
 discharge, lot additions, re-establishment of easement: . . . . . \$1,613.54 = \$ \_\_\_\_\_  
 \$

**Total Fee** \$

As set out in Chapter 441-4 of the City of Toronto Municipal Code, fees are adjusted every January 1st. Fees may be paid by cash, cheque, debit card, American Express, MasterCard or Visa

- Payment by American Express, MasterCard and Visa is limited to a maximum of \$20,000.00. Any balance of payment may be paid by cash, cheque or debit card.
- Payment by personal or company cheque that is less than \$2,000.00 must be certified. Please make all amounts payable to the Treasurer of the City of Toronto.

Applications are to be submitted digitally (i.e. pdf, each file less than 10 mb) either in-person with a CD/DVD at any Toronto Building Customer Service Counter or by email to [bldapplications@toronto.ca](mailto:bldapplications@toronto.ca) (please include property address in subject line).

## Application Requirements

1. Complete Application Form (separate forms for consent and minor variance applications may be required).
2. Authorization Form signed by all registered owners of the property.
3. The applicant is strongly encouraged to apply to Toronto Building for either a preliminary Project Review or a Zoning Certificate. Applying for either of these processes will allow Toronto Building to identify all aspects of the proposal that do not comply with the Zoning By-law and to determine if any other approvals are required for the release of a building permit. A Zoning Certificate is required prior to submitting a complete building permit application. Preliminary Project Review and Zoning Certificate applications can be made to any of the Toronto Building Division Customer Service District offices.  
Applicants who do not obtain either a Preliminary Project Review notice or an Examiner's Notice associated with a Zoning Certificate application must sign a Waiver Form assuming responsibility for correctly identifying the required relief from the Zoning By-law applicable to their property and providing a full list of the variances to the By-law required to facilitate their proposal. Any errors in their submission may cause delays in processing of their application.
4. Required Plans
  - Plan of Survey, up to date and prepared by a Surveyor
  - Draft Reference Plan of Survey – For Consent applications only; indicating the Part(s) to be severed and retained and/or easement(s)/right(s)-of-way, with boundaries, dimensions and area of each part clearly identified.
  - Architectural Plans, which shall include the following as one combined PDF:
    - i. Site Plan, indicating existing and proposed buildings on the site, distance from all lot lines, location of any easements/rights-of-way, location of buildings on adjacent lots, etc.
    - ii. Floor Plans, all rooms labeled as to use and indicating existing and proposed windows and entrances
    - iii. Elevation Plans, for all sides, indicating: height, grade, window and door openings
5. General Requirements for All Plans:
  - Metric scale and dimensioned with north symbol clearly marked
  - All drawings must contain one diagram, to scale, per page
  - Municipal address, names of adjacent streets, project names, applicant's name, name of firm preparing plans
  - Drawing title and number, preparation date, dates of any revisions
6. Plans/Drawings with multiple pages and sets must be combined into a single PDF file
7. Application Fees - payment will be required once the application is accepted by Toronto Building Customer Service.  
**For Complete submission requirements please refer to the Committee of Adjustment Application Checklist**

## For Your Information

- A public notice sign, which will be provided to you, is required to be posted in a prominent location on the property for 10 days before the Hearing of a Minor Variance application and 14 days before the Hearing of a Consent application. Please sign a declaration confirming your compliance with this request.
- Photographs of the site/building should be submitted with your application or as soon as possible thereafter.
- Supporting materials, such as: a letter of explanation, letters in support, etc. should be submitted as far in advance of the Hearing as possible.
- It is recommended that you discuss the proposal with adjacent residents in order to address or alleviate concerns that may affect the disposition of your application.

**Please contact your district office for more detailed information about the application requirements and the Committee of Adjustment process.**

## Public Record Notice

The information collected on this form is considered to be a public record as defined by section 27 of the Municipal Freedom of Information and Protection of Privacy Act.



Toronto Building  
Will Johnston, Chief Building Official and Executive  
Director

2 Civic Centre Court  
2nd Floor  
Toronto, ON M9C 5A3

Michael Farkas  
Zoning Building Code Examiner

Phone: 416-338-5958  
Fax:  
Email: Michael.Farkas@toronto.ca

PERCY ELLIS HOLDINGS INC  
C/O JAMES BURTON  
494 EASTERN AVE  
TORONTO ON M4M 1C5

**Zoning Notice**

Date: Thursday, June 28, 2018  
Zoning Certificate (ZZC) Review No: 18 168297 ZZC 00 ZR FolderRSN: 4382882  
Apartment Building - Other Proposal  
Proposed Use: 6 residential units  
at 1144 DAVENPORT RD  
Ward: Davenport (17)

Examination of your Zoning Certificate application has revealed that certain requirements of the applicable City Zoning By-law(s) have not been satisfied. The attached Notice provides details of the review.

Should compliance with the applicable City's Zoning By-law(s) not be possible, you may apply to amend the Zoning By-law by way of a Zoning Amendment or Committee of Adjustment application. For more information on either of these Planning processes, you may visit the City of Toronto Web site @ [www.toronto.ca/developing-toronto](http://www.toronto.ca/developing-toronto) or discuss the matter with City staff by calling (416)394-8060.

A Zoning Certificate will be issued only when it has been determined that the drawings and information submitted comply with the City Zoning By-law(s). Where there has been no activity on this application and six months has lapsed the file may be closed without notification. Please inform us of progress towards achieving compliance.

In order to get the fee paid under this application credited towards a "Complete" Building Permit application it must be accompanied by a "Zoning Certificate". You are required to obtain your "Zoning Certificate" before your submit for a "Complete" Building Application.

Please refer your Zoning Certificate application number when you phone or submit any pertinent information.

Michael Farkas  
Zoning Building Code Examiner





Toronto Building  
Will Johnston, Chief Building Official and Executive  
Director

2 Civic Centre Court  
2nd Floor  
Toronto, ON M9C 5A3

Michael Farkas  
Zoning Building Code Examiner  
Phone: 416-338-5958  
Fax:  
Email: Michael.Farkas@toronto.ca

Folder Name: 1144 DAVENPORT RD  
Application Number: 18 168297 ZZC 00 ZR

You must present a copy of this Zoning Certificate along with the necessary 'Applicable Law' approvals other than any of the fees or charges identified above, at the time of your building permit submission.

Building permit applications without Zoning Certificates and these approvals will be considered incomplete submissions and will not be subject to prescribed timeframes in Article 1.3.1.3. of Division C, Part 1 of the Ontario Building Code.

Applicable Law Notice

ITEM DESCRIPTION

Applicable Fees

1.	DC(Development Charges) Charges will be calculated at the time of processing the Building Permit Authority: O.B.C. Div A - 1.4.1.3.(1)(b)(ii) under Reg 332/12, or Div A - 1.4.1.3 (1)(b)(i) under Reg 350/06 (as applicable): Sections 28 and 53 of the Development Charges Act, 1997 Form of Approval: Confirmation of payment prior to building permit issuance Contact: Toronto Building <a href="http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_97d27_e.htm">http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_97d27_e.htm</a>
2.	EDC(TCDSB Education Dev. Charge) Charges will be calculated at the time of processing the Building Permit Authority: O.B.C. Div A - 1.4.1.3.(1)(b)(iii) under Reg 332/12, or Div A - 1.4.1.3 (1)(b)(ii) under Reg 350/06 (as applicable): Sections 257.83 and 257.93 of the Education Act Form of Approval: Confirmation of payment prior to building permit issuance Contact: Toronto Building <a href="http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90e02_e.htm">http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90e02_e.htm</a>
3.	Parkland Dedication/Park Levy Authority: O.B.C. Div. A - 1.4.1.3.(1)(a)(xxi) under Reg 332/12, or Div. A - 1.4.1.3.(1)(a)(xxxi.1) under Reg 305/06 (as applicable): Section 42 of the Planning Act with respect to the payment of money or making arrangements satisfactory to the Council of a Municipality for the payment of money, where the payment is required under subsection 42(6) of that Act. Form of Approval: Appraisal letter and payment made to Building Division Contact: Rosanne Clement at rclement@toronto.ca For information regarding the appraisal process or status of the appraisal for the parks levy Contact: Peter Cheng at pcheng1@toronto.ca <a href="http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90p13_e.htm">http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90p13_e.htm</a>



Toronto Building  
Will Johnston, Chief Building Official and Executive  
Director

2 Civic Centre Court  
2nd Floor  
Toronto, ON M9C 5A3

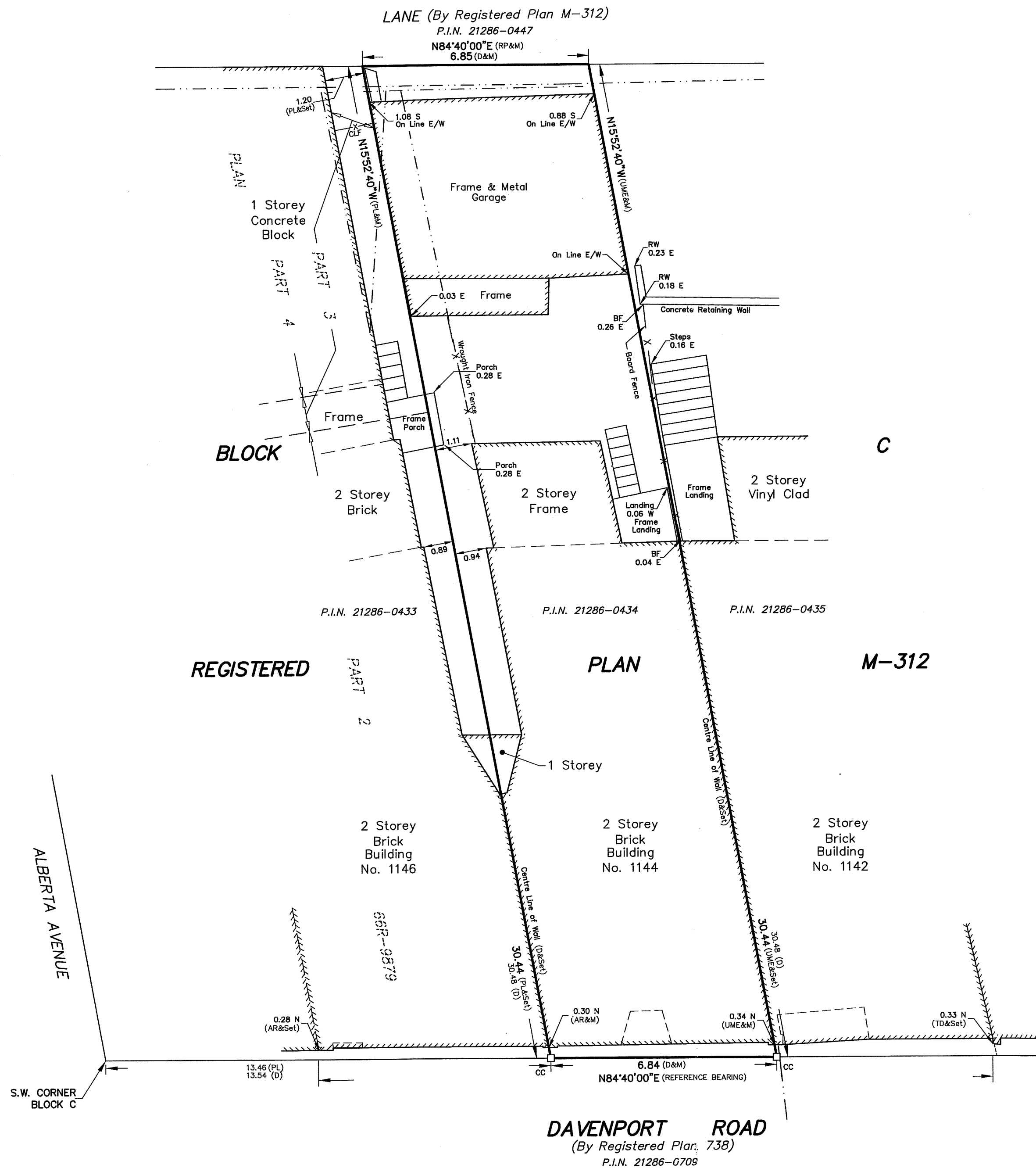
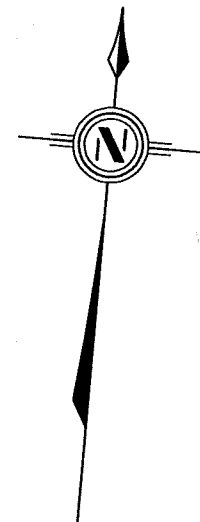
Michael Farkas  
Zoning Building Code Examiner  
Phone: 416-338-5958  
Fax:  
Email: Michael.Farkas@toronto.ca

Folder Name: 1144 DAVENPORT RD  
Application Number: 18 168297 ZZC 00 ZR

Zoning bylaw Notice

ITEM    DESCRIPTION

Toronto Zoning by-law	
Your property is located in the former municipality of Toronto and is subject to Zoning By-law No. 438-86, as amended. Based on Zoning By-law No. 438-86, the property is zoned MCR T1.5 C1.0 R1.5.	
4.	(A) One or more dwelling units in a building are permitted provided the building contains uses permitted in the CR, MCR, or Q district in which the building is located. The proposed dwelling units will be the only use in the building and will not contain uses permitted in the MCR district. [8(2)(1) - Qualifications for Uses - Dwelling Units]
5.	The by-law requires that the residential gross floor area be not more than 1.5 times the area of the lot: 307.4 square metres. The proposed residential gross floor area of the building will be 2.07 times the area of the lot: 424.9 square metres. [8(3) Part I 3(A) - Residential Gross Floor Area]

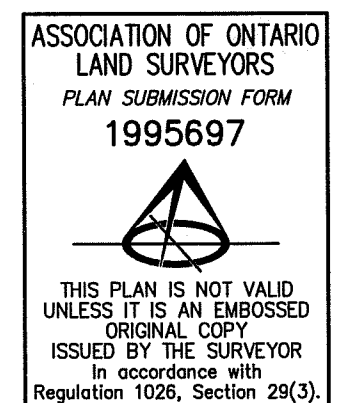


SURVEYOR'S REAL PROPERTY REPORT - PART 1  
PLAN OF  
**Part of BLOCK C**  
**REGISTERED PLAN M-312**  
**CITY of TORONTO**  
SCALE 1 : 100  
AVANTI SURVEYING INC.  
© COPYRIGHT 2016

**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**BEARING NOTE**  
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE  
NORTH LIMIT OF DAVENPORT ROAD, HAVING A BEARING OF  
N84°40'00\"E ACCORDING TO REGISTERED PLAN M-312.

LEGEND		
□	DENOTES	SURVEY MONUMENT SET
RP	→	REGISTERED PLAN M-312
PL	→	PLAN 66R-9879
N,S,E,W	→	NORTH,SOUTH,EAST,WEST
M	→	MEASURED
CC	→	CUT CROSS
P.I.N.	→	PROPERTY IDENTIFIER NUMBER
→	→	OVERHEAD WIRES & UTILITY POLE
CLF	→	CHAIN LINK FENCE
BF	→	BOARD FENCE
AR	→	PLAN BY A. REUBEN, O.L.S. DATED DECEMBER 16, 1965
TD	→	PLAN BY T. DRZIC, O.L.S. DATED SEPTEMBER 24, 1986.
UME	→	PLAN BY UNWIN, MURPHY & ESTEN, O.L.S. DATED JUNE 19, 1989.



**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT :  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND  
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 3rd DAY OF  
NOVEMBER, 2016.

NOVEMBER 09, 2016  
DATE  
CHRIS BERESNIEWICZ  
ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR FERN BURTON

**PART 2 - SURVEY REPORT**  
1) PLEASE NOTE LOCATION OF FENCES AND OVERHEAD WIRES  
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY : NONE  
3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING  
BY-LAWS

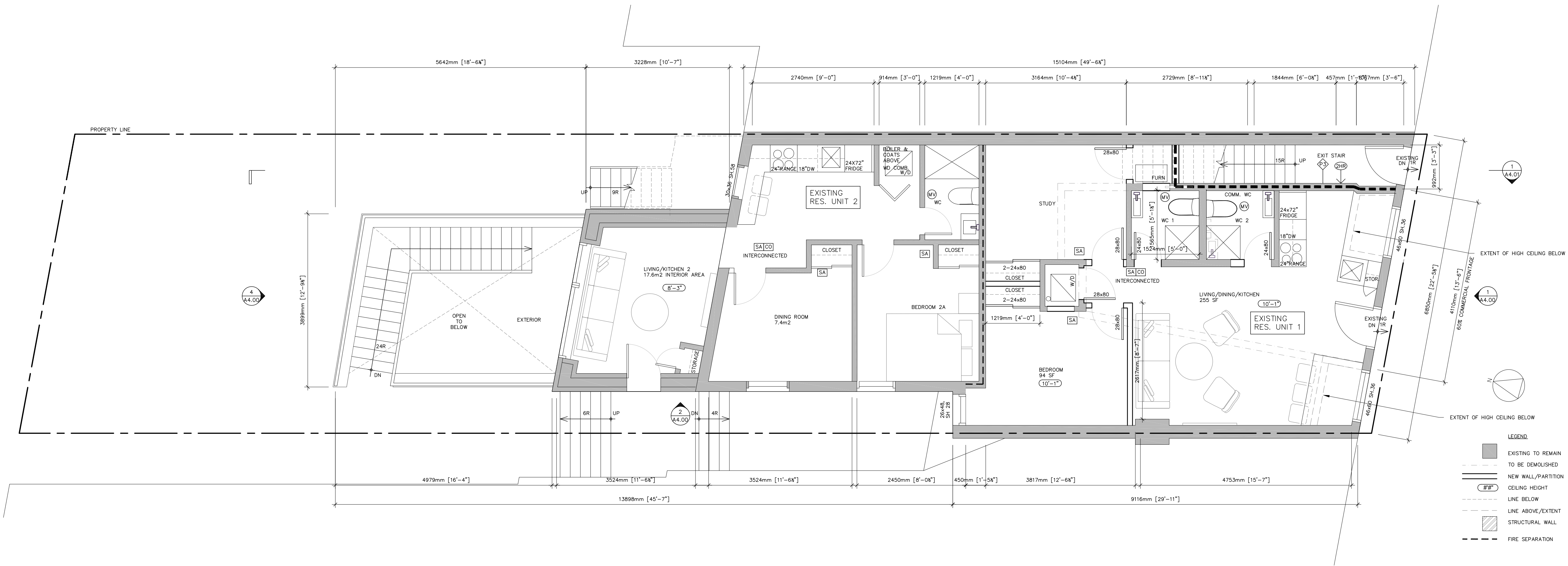
**Avanti**  
**SURVEYING INC.**  
310 North Queen St., Unit 102, Toronto ON M9C-5K4  
Tel: (416) 231-1174 - Fax: (416) 621-3360  
E-MAIL : info@avantisurveying.com

DRAWN:RJM CHECKED:R.T./C.B. PROJECT 16-333









Issuance	

CofA	2018-08-30
Description	Date



THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT. AUTHORIZATION FROM THE ARCHITECT FOR USE OF THIS DOCUMENT IS NOT TRANSFERABLE. THE RECIPIENT OF THIS DOCUMENT IS HEREBY ADVISED THAT IT IS RELEASED FOR USE UNDER THE FOLLOWING TERMS AND CONDITIONS: THE DOCUMENT IS TO BE USED ONLY IN CONJUNCTION WITH THIS PROJECT. REUSE OF ANY PORTION OF THE DOCUMENT IN ANY OTHER CIRCUMSTANCE CONSTITUTES COPYRIGHT INFRINGEMENT. THE DOCUMENT IS FOR DESIGN INTENT AND INFORMATION ONLY, AND DOES NOT CONSTITUTE AS-BUILT CONDITIONS. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. THE RECIPIENT RETAINS THE OBLIGATION TO VERIFY THE CONDITIONS OF THE SUBJECT PROPERTY AND TO COMPLETELY COORDINATE ALL DIMENSIONS, FABRICATION METHODS, RELATED AND INTEGRATED SYSTEMS, ETC., WITH RESPECT TO ALL ASPECTS OF THE WORK. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR.



BRANDERARCHITECTS

49 BOULTON AVENUE,  
TORONTO, ON M4M 2J4  
T. 416 473 6956  
branderarchitects.com

Project

RENOVATION AND  
ADDITION

1144 DAVENPORT  
ROAD, TORONTO

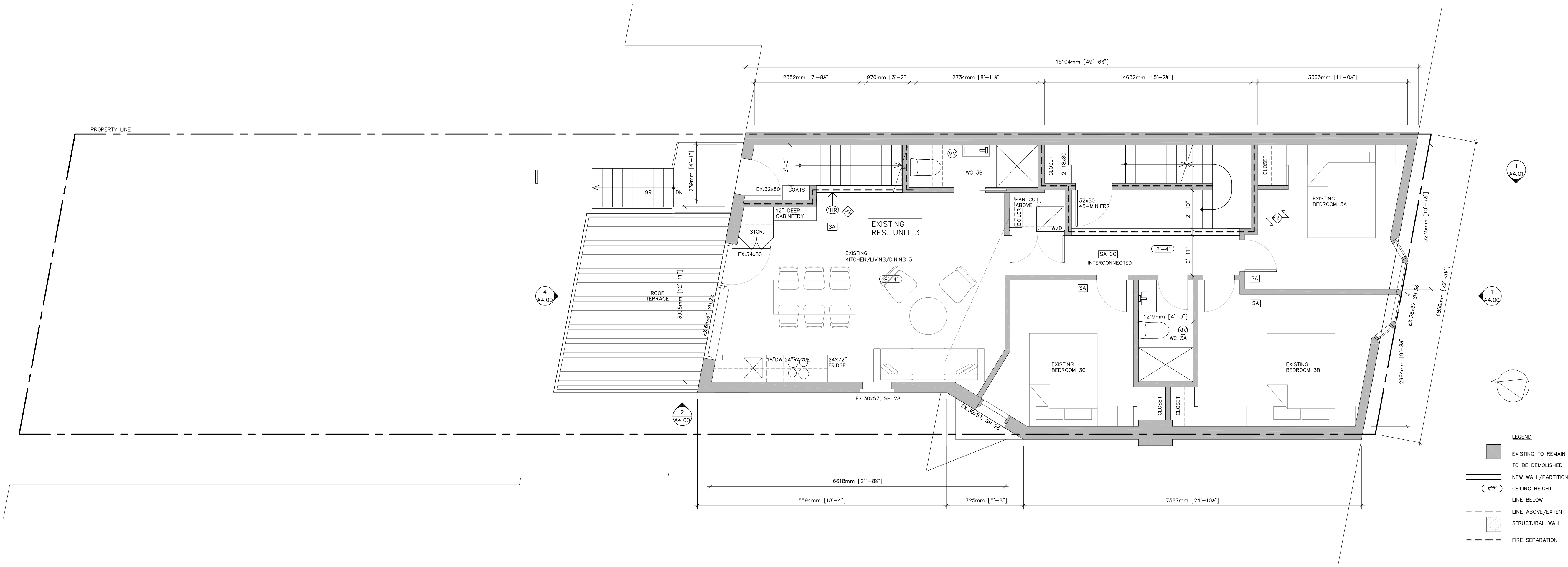
Drawing

GROUND LEVEL  
PLAN

Project # 16009  
Scale 1:50

Sheet

A2.01



Issuance	

CofA	2018-08-30
Description	Date



THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT. AUTHORIZATION FROM THE ARCHITECT FOR USE OF THIS DOCUMENT IS NOT TRANSFERABLE. THE RECIPIENT OF THIS DOCUMENT IS HEREBY ADVISED THAT IT IS RELEASED FOR USE UNDER THE FOLLOWING TERMS AND CONDITIONS: THE DOCUMENT IS TO BE USED ONLY IN CONJUNCTION WITH THIS PROJECT. REUSE OF ANY PORTION OF THE DOCUMENT IN ANY OTHER CIRCUMSTANCE CONSTITUTES COPYRIGHT INFRINGEMENT. THE DOCUMENT IS FOR DESIGN INTENT AND INFORMATION ONLY, AND DOES NOT CONSTITUTE AS-BUILT CONDITIONS. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. THE RECIPIENT RETAINS THE OBLIGATION TO VERIFY THE CONDITIONS OF THE SUBJECT PROPERTY AND TO COMPLETELY COORDINATE ALL DIMENSIONS, FABRICATION METHODS, RELATED AND INTEGRATED SYSTEMS, ETC., WITH RESPECT TO ALL ASPECTS OF THE WORK. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR.



BRANDERARCHITECTS

49 BOULTON AVENUE,  
TORONTO, ON M4M 2J4  
T. 416 473 6956  
branderarchitects.com

Project

RENOVATION AND  
ADDITION

1144 DAVENPORT  
ROAD, TORONTO

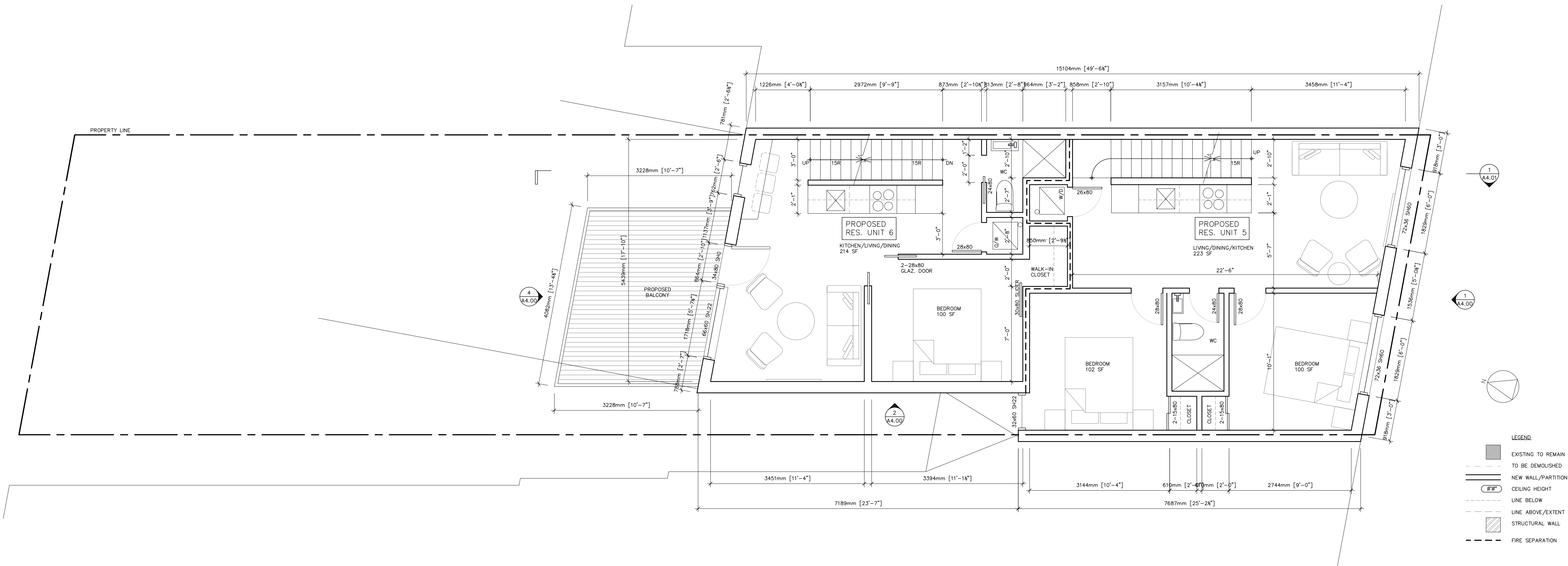
Drawing

SECOND LEVEL  
PLAN

Project # 16009  
Scale 1:50

Sheet

A2.02



Issuance	
CofA	2018-08-30
Description	Date



THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT. AUTHORIZATION FROM THE ARCHITECT FOR USE OF THIS DOCUMENT IS NOT TRANSFERABLE. THE RECIPIENT OF THIS DOCUMENT IS HEREBY ADVISED THAT IT IS RELEASED FOR USE UNDER THE FOLLOWING TERMS AND CONDITIONS: THE DOCUMENT IS TO BE USED ONLY IN CONJUNCTION WITH THIS PROJECT. REUSE OF ANY PORTION OF THE DOCUMENT IN ANY OTHER CIRCUMSTANCE CONSTITUTES COPYRIGHT INFRINGEMENT. THE DOCUMENT IS FOR DESIGN INTENT AND INFORMATION ONLY, AND DOES NOT CONSTITUTE AS-BUILT CONDITIONS. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. THE RECIPIENT RETAINS THE OBLIGATION TO VERIFY THE CONDITIONS OF THE SUBJECT PROPERTY AND TO COMPLETELY COORDINATE ALL DIMENSIONS, FABRICATION METHODS, RELATED AND INTEGRATED SYSTEMS, ETC., WITH RESPECT TO ALL ASPECTS OF THE WORK. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR.

**BRANDERARCHITECTS**  
49 BOULTON AVENUE,  
TORONTO, ON M4M 2J4  
T. 416 473 6956  
branderarchitects.com

Project  
RENOVATION AND  
ADDITION

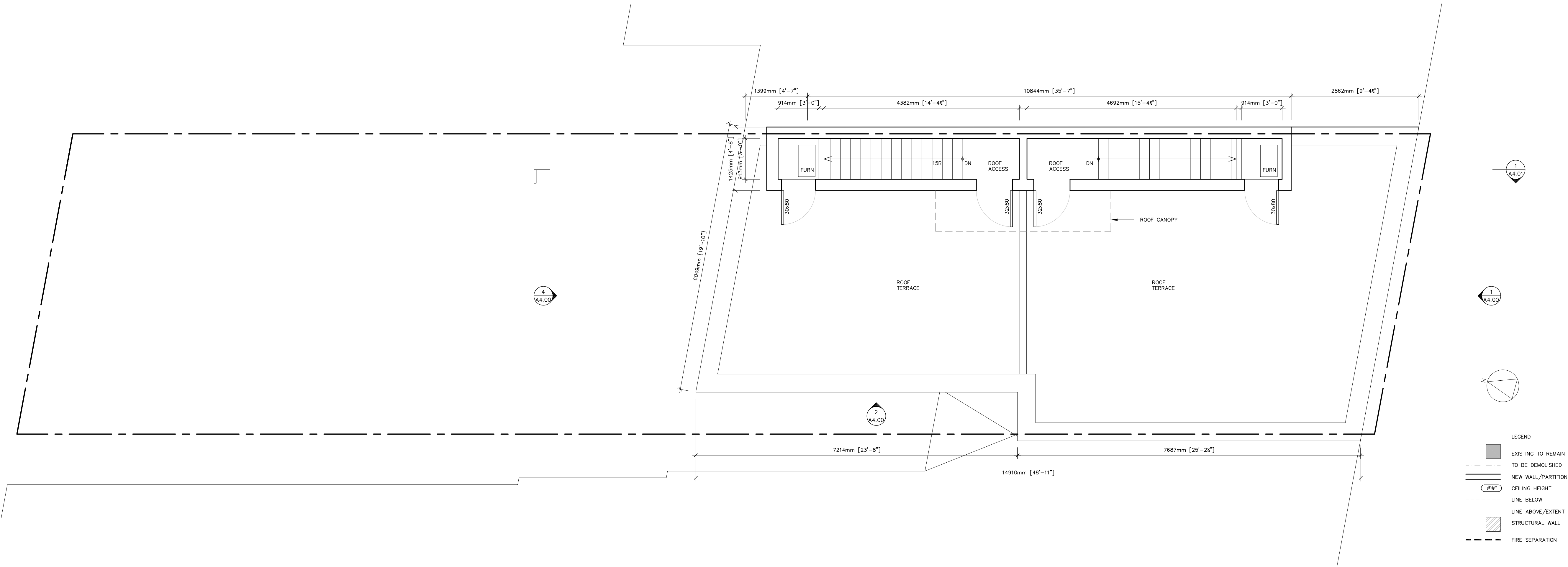
1144 DAVENPORT  
ROAD, TORONTO

Drawing  
THIRD LEVEL  
PLAN

Project # 16009  
Scale 1:50

Sheet





Issuance	

CofA	2018-08-30
Description	Date



THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT. AUTHORIZATION FROM THE ARCHITECT FOR USE OF THIS DOCUMENT IS NOT TRANSFERABLE. THE RECIPIENT OF THIS DOCUMENT IS HEREBY ADVISED THAT IT IS RELEASED FOR USE UNDER THE FOLLOWING TERMS AND CONDITIONS: THE DOCUMENT IS TO BE USED ONLY IN CONJUNCTION WITH THIS PROJECT. REUSE OF ANY PORTION OF THE DOCUMENT IN ANY OTHER CIRCUMSTANCE CONSTITUTES COPYRIGHT INFRINGEMENT. THE DOCUMENT IS FOR DESIGN INTENT AND INFORMATION ONLY, AND DOES NOT CONSTITUTE AS-BUILT CONDITIONS. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. THE RECIPIENT RETAINS THE OBLIGATION TO VERIFY THE CONDITIONS OF THE SUBJECT PROPERTY AND TO COMPLETELY COORDINATE ALL DIMENSIONS, FABRICATION METHODS, RELATED AND INTEGRATED SYSTEMS, ETC., WITH RESPECT TO ALL ASPECTS OF THE WORK. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR.



**BRANDER ARCHITECTS**  
49 BOULTON AVENUE,  
TORONTO, ON M4M 2J4  
T. 416 473 6956  
branderarchitects.com

Project  
**RENOVATION AND ADDITION**

1144 DAVENPORT ROAD, TORONTO

Drawing  
**ROOF PLAN**

Project # 16009  
Scale 1:50

Sheet

A2.04

Issuance

CofA	2018-08-30
Description	Date



THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT. AUTHORIZATION FROM THE ARCHITECT FOR USE OF THIS DOCUMENT IS NOT TRANSFERABLE. THE RECIPIENT OF THIS DOCUMENT IS HEREBY ADVISED THAT IT IS RELEASED FOR USE UNDER THE FOLLOWING TERMS AND CONDITIONS: THE DOCUMENT IS TO BE USED ONLY IN CONJUNCTION WITH THIS PROJECT. REUSE OF ANY PORTION OF THE DOCUMENT IN ANY OTHER CIRCUMSTANCE CONSTITUTES COPYRIGHT INFRINGEMENT. THE DOCUMENT IS FOR DESIGN INTENT AND INFORMATION ONLY, AND DOES NOT CONSTITUTE AS-BUILT CONDITIONS. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. THE RECIENT RETAINS THE OBLIGATION TO VERIFY THE CONDITIONS OF THE SUBJECT PROPERTY AND TO COMPLETELY COORDINATE ALL DIMENSIONS, FABRICATION METHODS, RELATED AND INTEGRATED SYSTEMS, ETC., WITH RESPECT TO ALL ASPECTS OF THE WORK. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR.



**BRANDERARCHITECTS**  
49 BOULTON AVENUE,  
TORONTO, ON M4M 2J4  
T. 416 473 6956  
branderarchitects.com

Project  
RENOVATION AND  
ADDITION

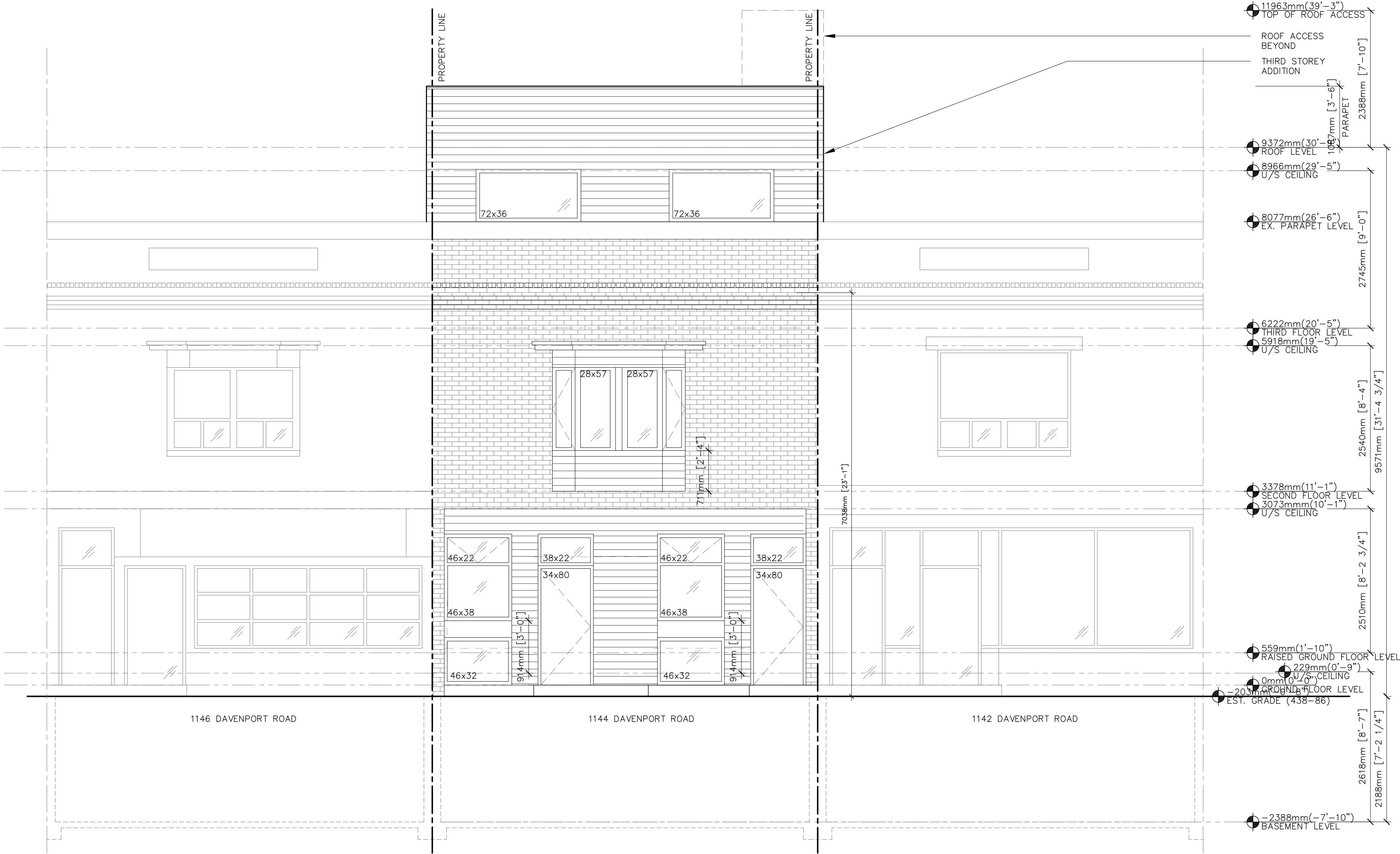
1144 DAVENPORT  
ROAD, TORONTO

Drawing  
FRONT ELEVATION

Project # 16009  
Scale 1:50

Sheet

A4.00





Issuance	

CofA	2018-08-30
Description	Date



THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT. AUTHORIZATION FROM THE ARCHITECT FOR USE OF THIS DOCUMENT IS NOT TRANSFERABLE. THE RECIPIENT OF THIS DOCUMENT IS HEREBY ADVISED THAT IT IS RELEASED FOR USE UNDER THE FOLLOWING TERMS AND CONDITIONS: THE DOCUMENT IS TO BE USED ONLY IN CONJUNCTION WITH THIS PROJECT. REUSE OF ANY PORTION OF THE DOCUMENT IN ANY OTHER CIRCUMSTANCE CONSTITUTES COPYRIGHT INFRINGEMENT. THE DOCUMENT IS FOR DESIGN INTENT AND INFORMATION ONLY, AND DOES NOT CONSTITUTE AS-BUILT CONDITIONS. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. THE RECIPIENT RETAINS THE OBLIGATION TO VERIFY THE CONDITIONS OF THE SUBJECT PROPERTY AND TO COMPLETELY COORDINATE ALL DIMENSIONS, FABRICATION METHODS, RELATED AND INTEGRATED SYSTEMS, ETC., WITH RESPECT TO ALL ASPECTS OF THE WORK. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR.



**BRANDERARCHITECTS**  
49 BOULTON AVENUE,  
TORONTO, ON M4M 2J4  
T. 416 473 6956  
branderarchitects.com

Project  
**RENOVATION AND ADDITION**

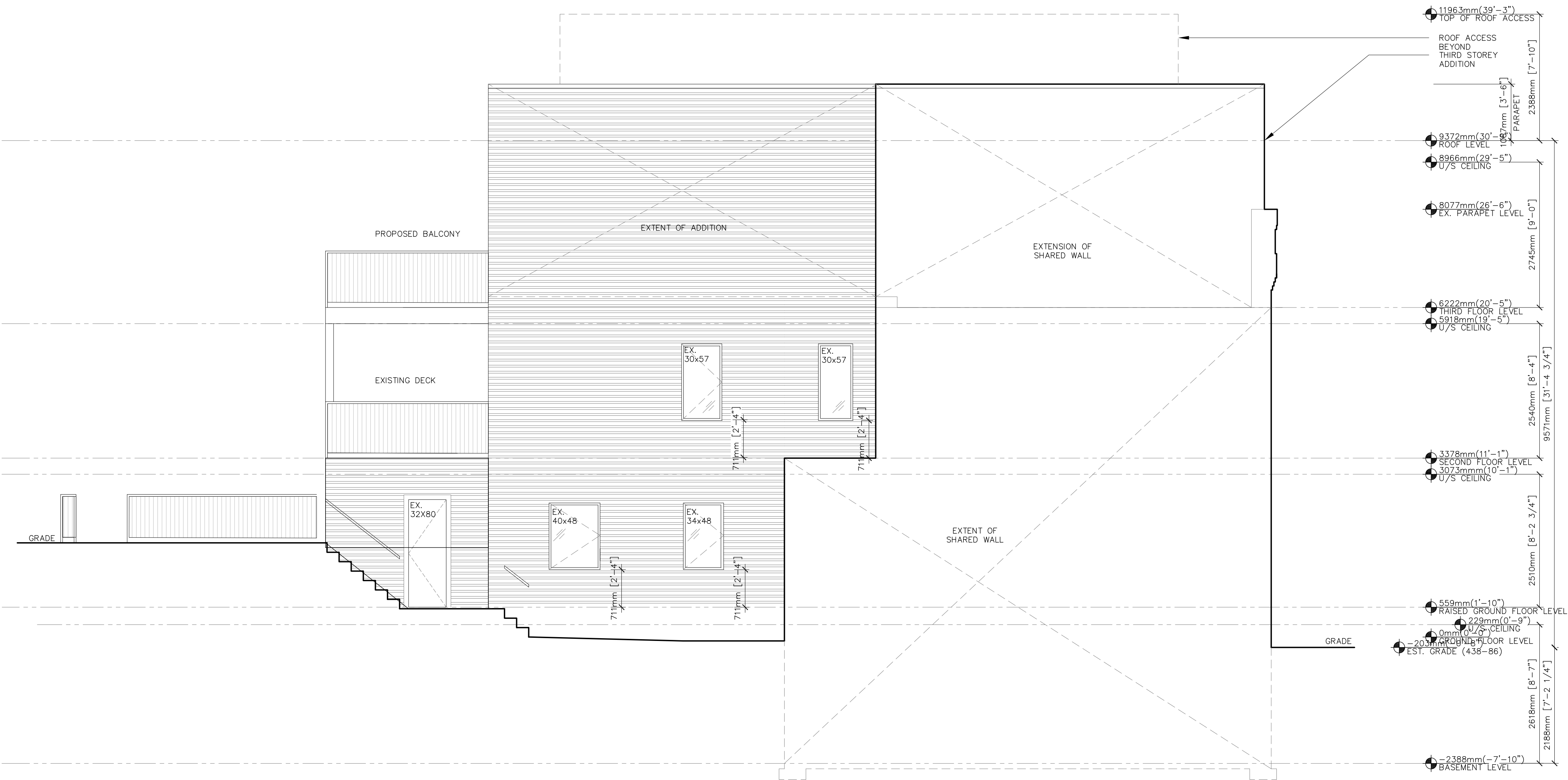
1144 DAVENPORT ROAD, TORONTO

Drawing  
**SIDE ELEVATION**

Project # 16009  
Scale 1:50

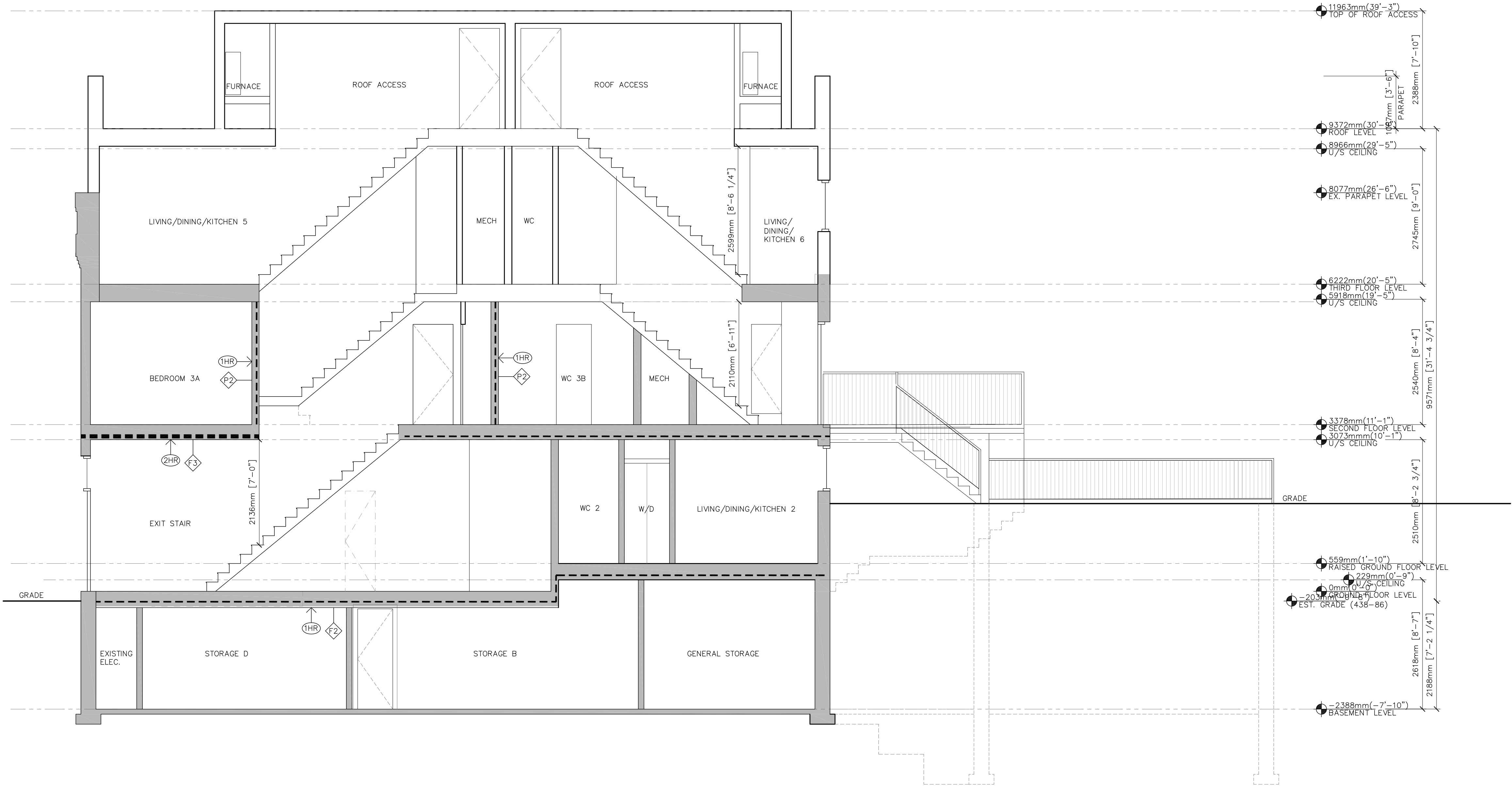
Sheet

A4.02



Issuance	

CofA	2018-08-30
Description	Date



THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT. AUTHORIZATION FROM THE ARCHITECT FOR USE OF THIS DOCUMENT IS NOT TRANSFERABLE. THE RECIPIENT OF THIS DOCUMENT IS HEREBY ADVISED THAT IT IS RELEASED FOR USE UNDER THE FOLLOWING TERMS AND CONDITIONS: THE DOCUMENT IS TO BE USED ONLY IN CONJUNCTION WITH THIS PROJECT. REUSE OF ANY PORTION OF THE DOCUMENT IN ANY OTHER CIRCUMSTANCE CONSTITUTES COPYRIGHT INFRINGEMENT. THE DOCUMENT IS FOR DESIGN INTENT AND INFORMATION ONLY, AND DOES NOT CONSTITUTE AS-BUILT CONDITIONS. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. THE RECIPIENT RETAINS THE OBLIGATION TO VERIFY THE CONDITIONS OF THE SUBJECT PROPERTY AND TO COMPLETELY COORDINATE ALL DIMENSIONS, FABRICATION METHODS, RELATED AND INTEGRATED SYSTEMS, ETC., WITH RESPECT TO ALL ASPECTS OF THE WORK. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR.

**BRANDERARCHITECTS**  
49 BOULTON AVENUE,  
TORONTO, ON M4M 2J4  
T. 416 473 6956  
branderarchitects.com

Project  
**RENOVATION AND ADDITION**

1144 DAVENPORT ROAD, TORONTO

Drawing  
**CROSS SECTION**

Project # 16009  
Scale 1:50

Sheet

A4.03