

LEGEND

□	DENOTES	MONUMENT PLANTED
■	MONUMENT FOUND	
WIT	WITNESS	
CC	CUT CROSS	
IB	IRON BAR	
RP	REGISTERED PLAN 1296	
P.I.N.	PROPERTY IDENTIFIER NUMBER	
CED	PLAN OF SURVEY BY	C.E. DOTTERILL LTD., O.L.S., DATED JULY 7TH, 1983.
RC/1496	PLAN OF SURVEY BY	

1
A0

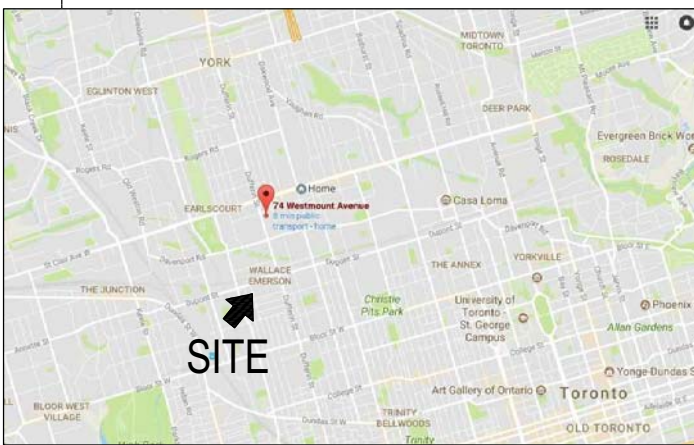
EXISTING SITE PLAN
SCALE: 3/32" = 1'-0"

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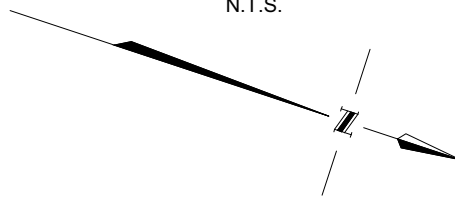
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<p>GIANCARLO GAROFALO ARCHITECT 943 ST. CLAIR AVE. WEST TORONTO, ON. M6C 1C7 Tel: 416 531-1265 Fax: 416 531-4733 Email: info@ggarchitect.ca</p>	<p>Title: 74 WESTMOUNT AVE. TORONTO, ON</p>	<p>Sheet Title: EXISTING SITE PLAN</p>	<p>No. 1</p>	<p>Revision ISSUED FOR REVIEW</p>	<p>Date OCT. 30, 2017</p>	<p>Drawn: J.C.</p>	<p>Scale: AS INDICATED</p>
			<p>No. 2</p>	<p>Revision ISSUED FOR PPR</p>	<p>Date APR. 12, 2018</p>	<p>Checked: G.G.</p>	
			<p>No. 3</p>	<p>Revision Issued for Zoning Certificate</p>	<p>Date APR. 26, 2018</p>	<p>Date: SEPT. 2017</p>	
			<p>No. 4</p>	<p>Revision Issued for Zoning Certificate</p>	<p>Date AUG. 20, 2018</p>		

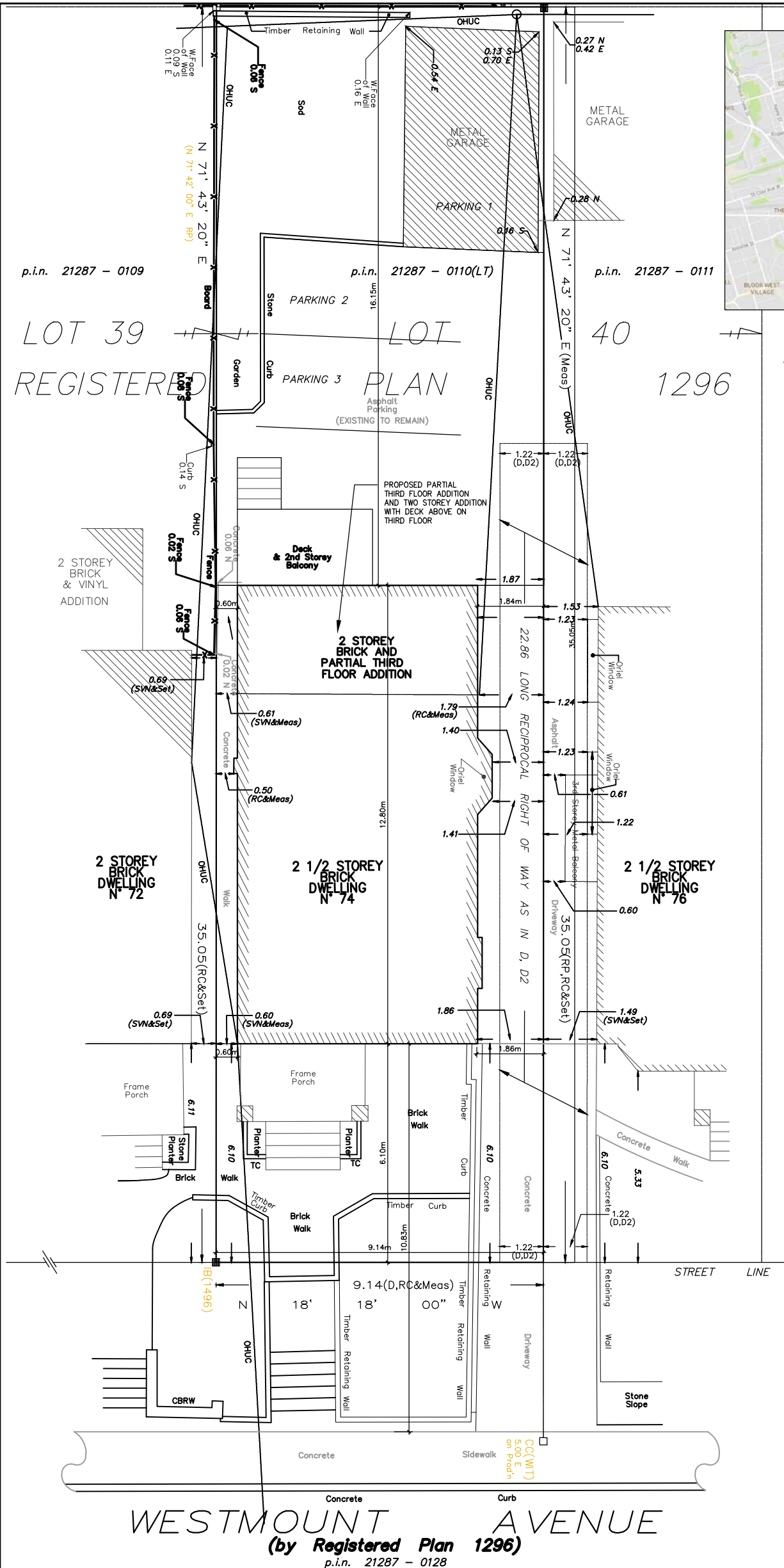


KEY PLAN
N.T.S.



SITE STATISTICS (74 WESTMOUNT AVE.) - R(d 0.6)
2 1/2 - STOREY DETACHED HOUSE

LOT AREA:	=	320.49M ²	(3,449.82 FT ²)
LOT FRONTAGE:	=	9.14M	
COVERAGE:			
HOUSE (INCLUDING PORCH, WALK-UP, DECK, GARAGE)	=	107.28M ²	(1,154.76 FT ²) or 33.47%
EXISTING:			
BASEMENT LEVEL:	=	72.21M ²	(777.28 FT ²)
MAIN FLOOR:	=	80.27M ²	(864.08 FT ²)
2ND FLOOR:	=	86.26M ²	(928.54 FT ²)
ATTIC LEVEL:	=	59.29M ²	(638.20 FT ²)
TOTAL GFA: (EXCLUDING BASEMENT)	=	225.82M ²	(2,430.82 FT ²)
GROUND FLOOR DECK	=	10.43M ²	112.31 FT ²
2ND FLOOR DECK	=	5.93M ²	(63.85 FT ²)
ROOF DECK	=	14.99M ²	(161.38 FT ²)
PROPOSED:			
BASEMENT LEVEL:	=	86.73M ²	(933.54 FT ²)
MAIN FLOOR:	=	86.73M ²	(933.54 FT ²)
2ND FLOOR:	=	86.73M ²	(933.54 FT ²)
ATTIC LEVEL:	=	62.36M ²	(671.31 FT ²)
TOTAL GFA: (EXCLUDING BASEMENT)	=	235.82M ²	(2,538.11 FT ²)
FSI	=	0.74 TIMES THE LOT AREA	
GROUND FLOOR DECK	=	9.78M ²	(105.29 FT ²)
2ND FLOOR DECK	=	6.21M ²	(66.82 FT ²)
ROOF DECK	=	20.34M ²	(218.90 FT ²)
SETBACKS:			
FRONT	=	6.10M	
SIDE	=	0.68M	
SIDE	=	1.86M	
REAR	=	16.15M	
BUILDING HEIGHT	=	9.81M	
BUILDING LENGTH	=	12.80M	
REAR YARD	=	147.76M ²	
GARAGE	=	23.05M ²	
REAR LANDSCAPING	=	124.71M ²	
SOFTSCAPE	=	44.21M ²	
% OF SOFTSCAPE	=	35.45%	
HARDSCAPE (DECK, DRIVEWAY)	=	80.50M ²	
% OF HARDSCAPE	=	64.55%	



WESTMOUNT AVENUE
(by Registered Plan 1296)
p.i.n. 21287 - 0128

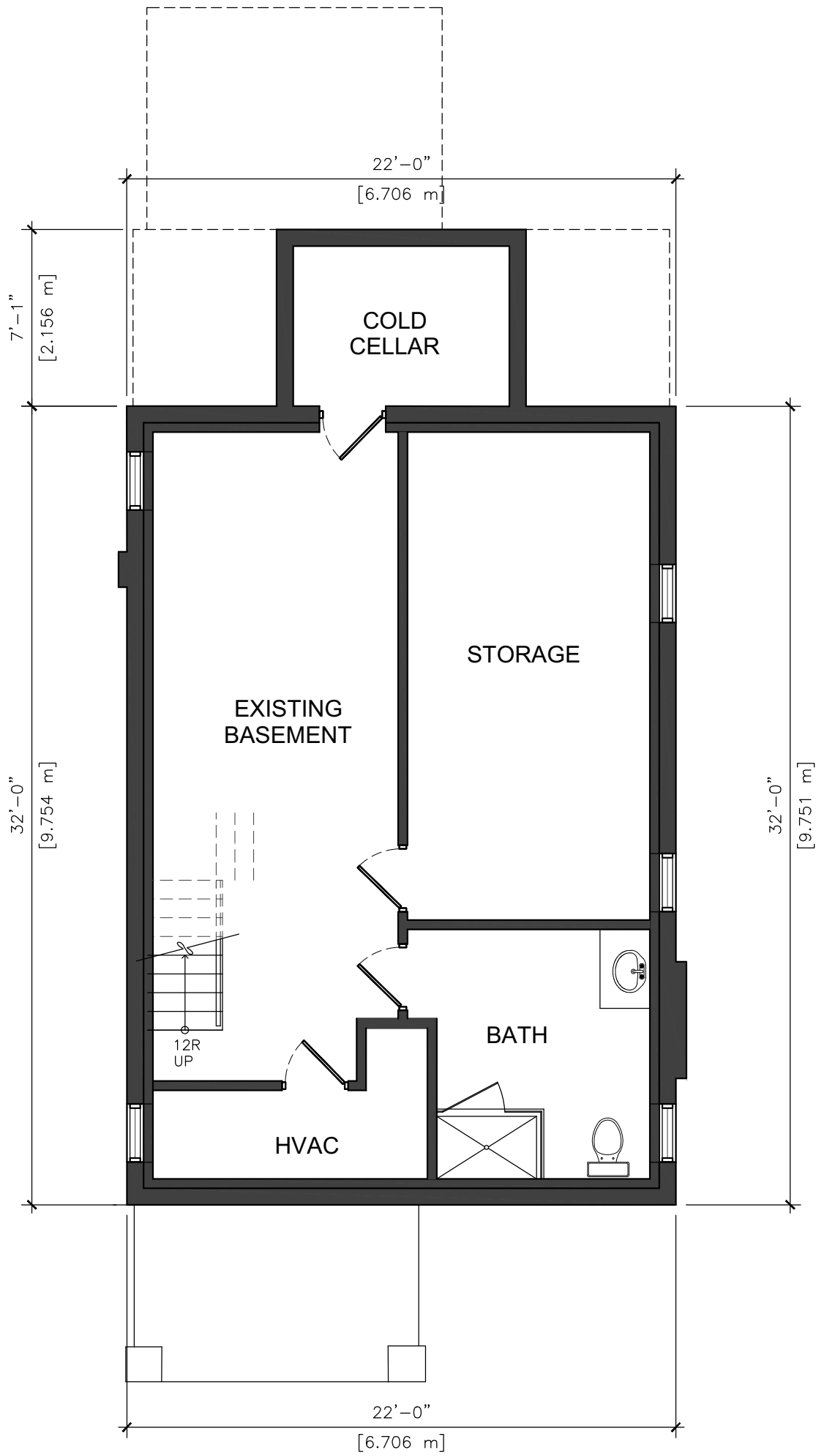
1
A1 **SITE PLAN**
SCALE: 3/32" = 1'-0"

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			3	Issued for Zoning Certificate	APR. 26, 2018	Date: SEPT. 2017	
			4	Issued for Zoning Certificate	JULY 17, 2018		
5	Re-issued for Zoning Certificate	AUG. 20, 2018					



EXISTING BASEMENT FLOOR PLAN

1
A2

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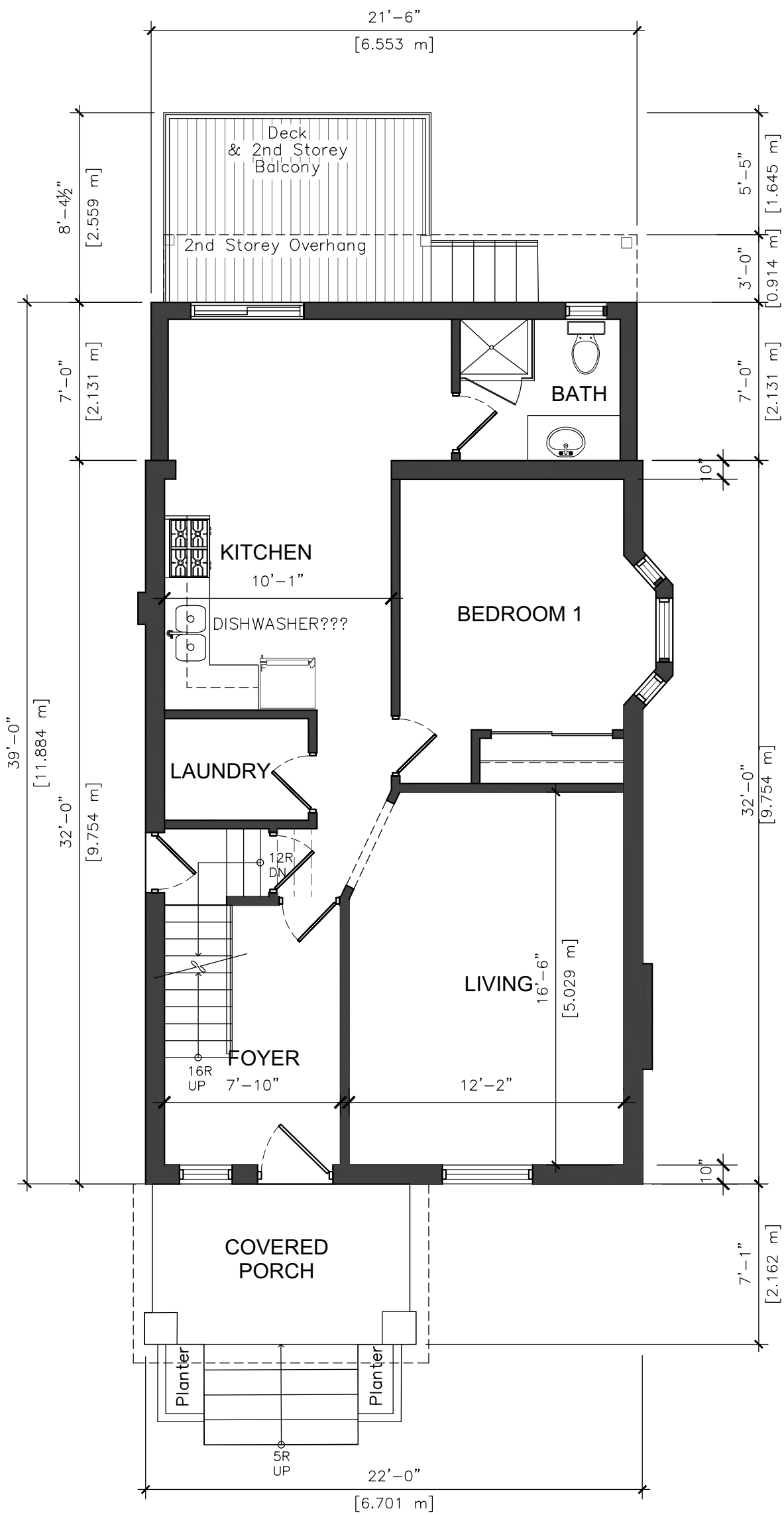
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Scale:

Dwg. No.
A2



EXISTING GROUND FLOOR PLAN

1
A3

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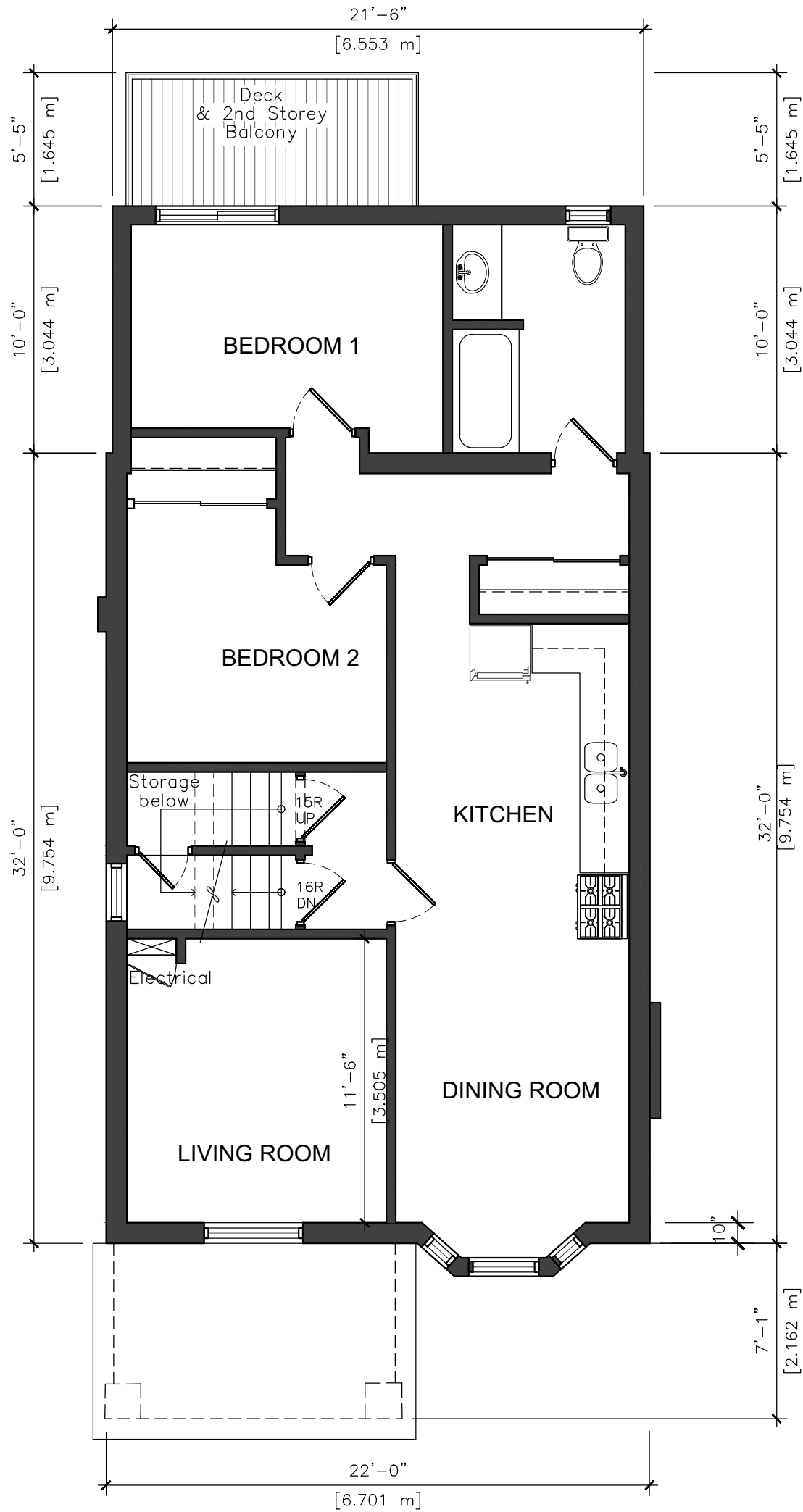
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A3

LEGEND:

— EXISTING WALL



EXISTING SECOND FLOOR PLAN

1
A4

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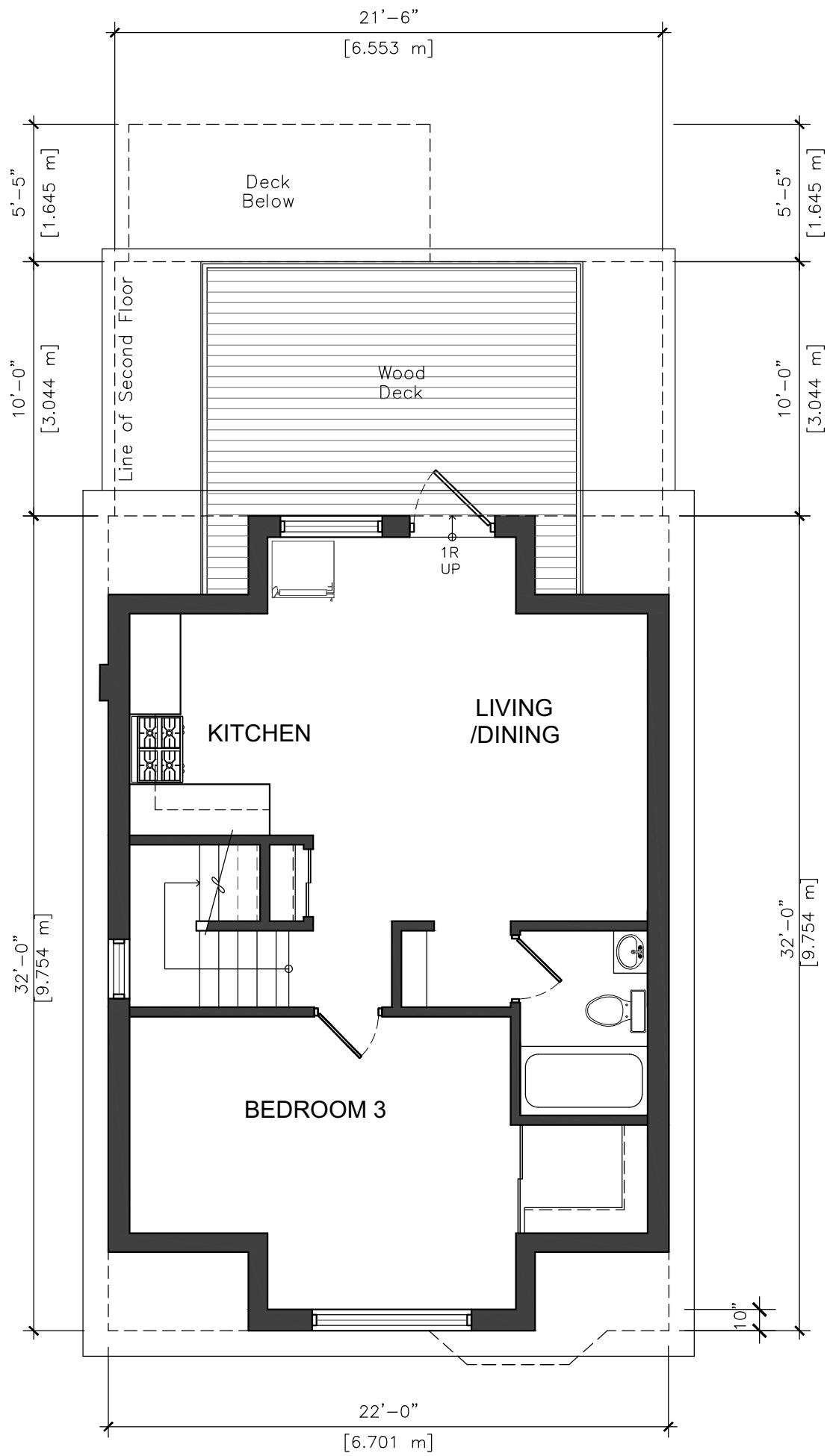
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A4

LEGEND:

 - EXISTING WALL



EXISTING THIRD FLOOR PLAN

1
A5

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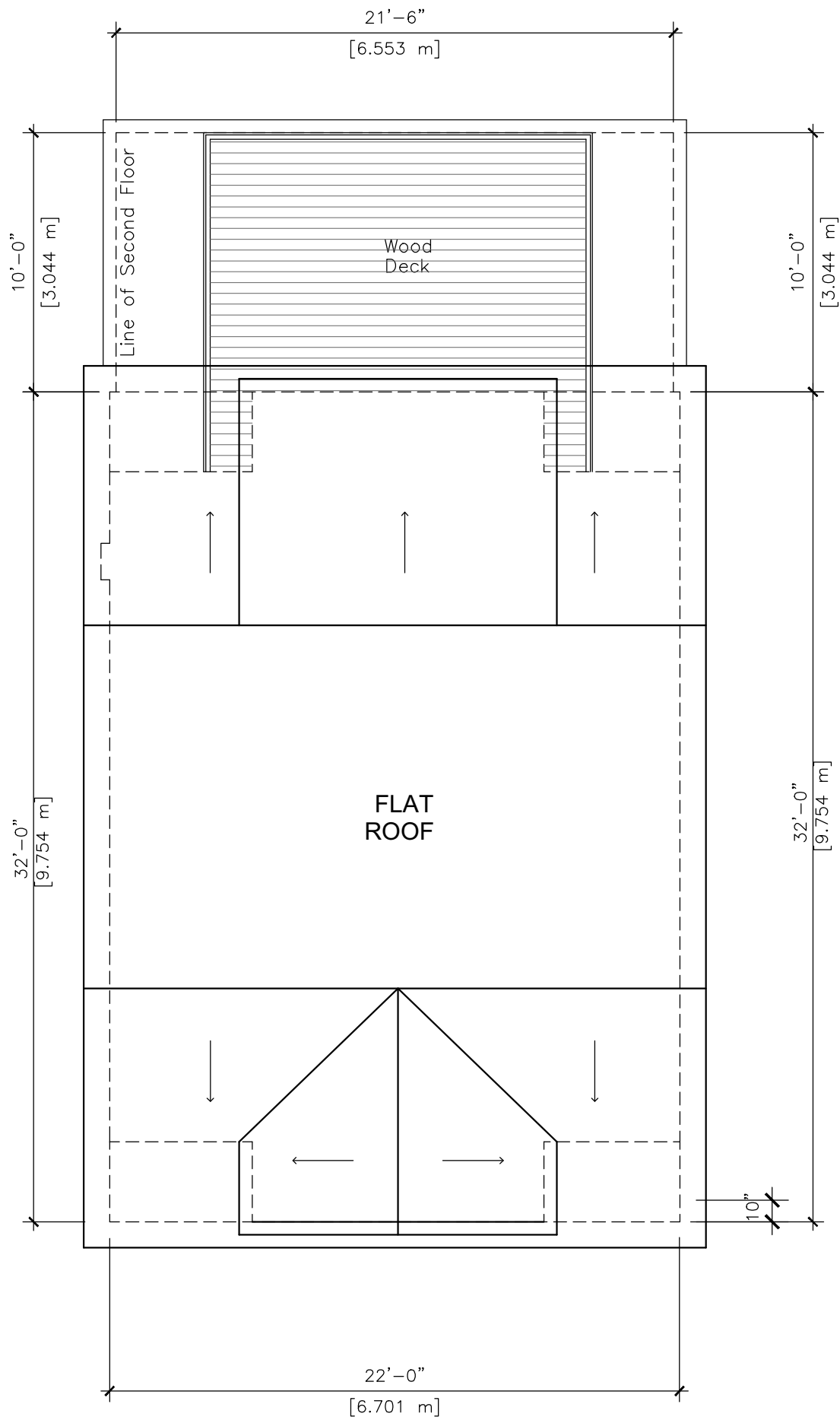
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A5
Dwg. No.



1
A6

EXISTING ROOF PLAN

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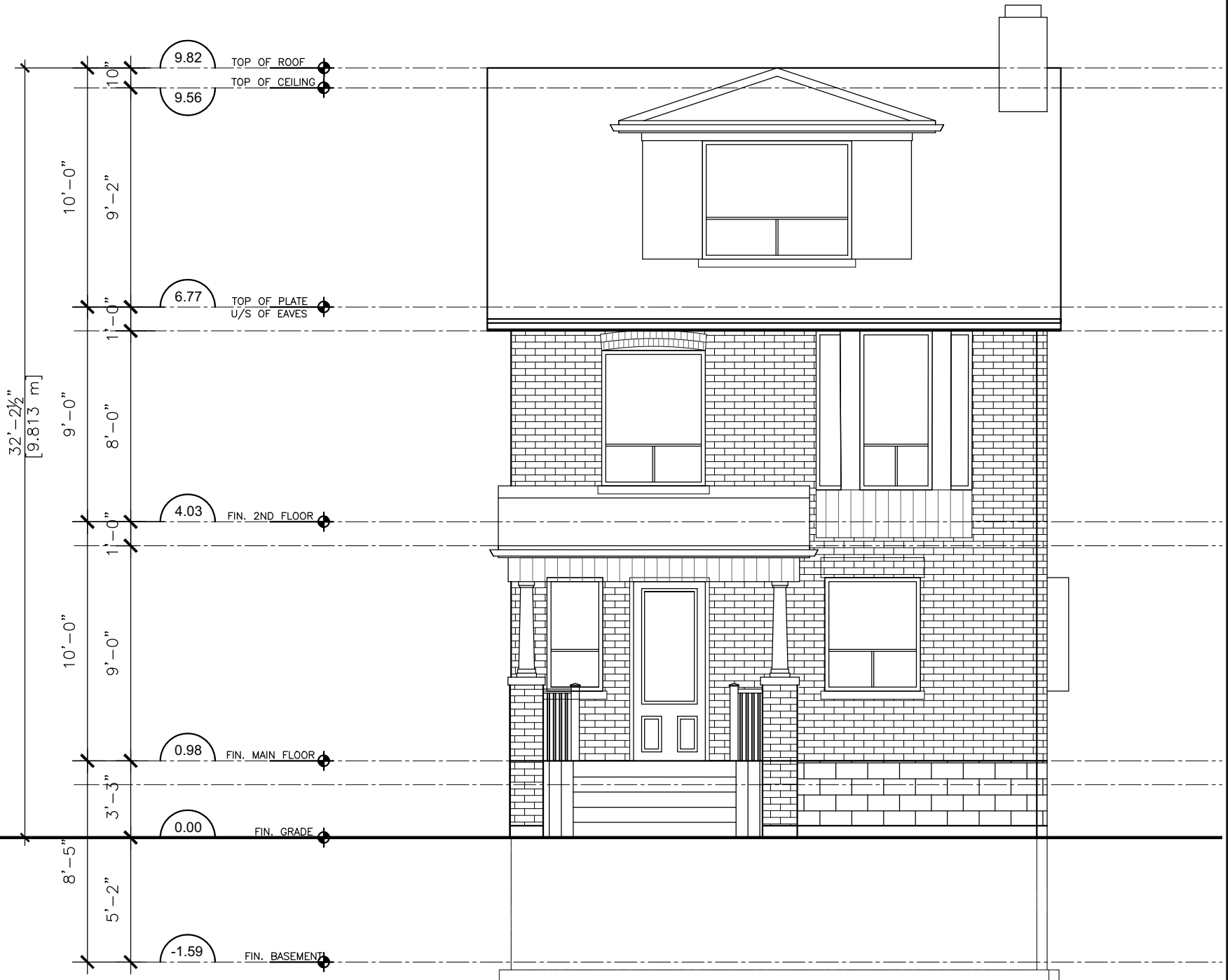
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A6



EXISTING FRONT ELEVATION

1
A7

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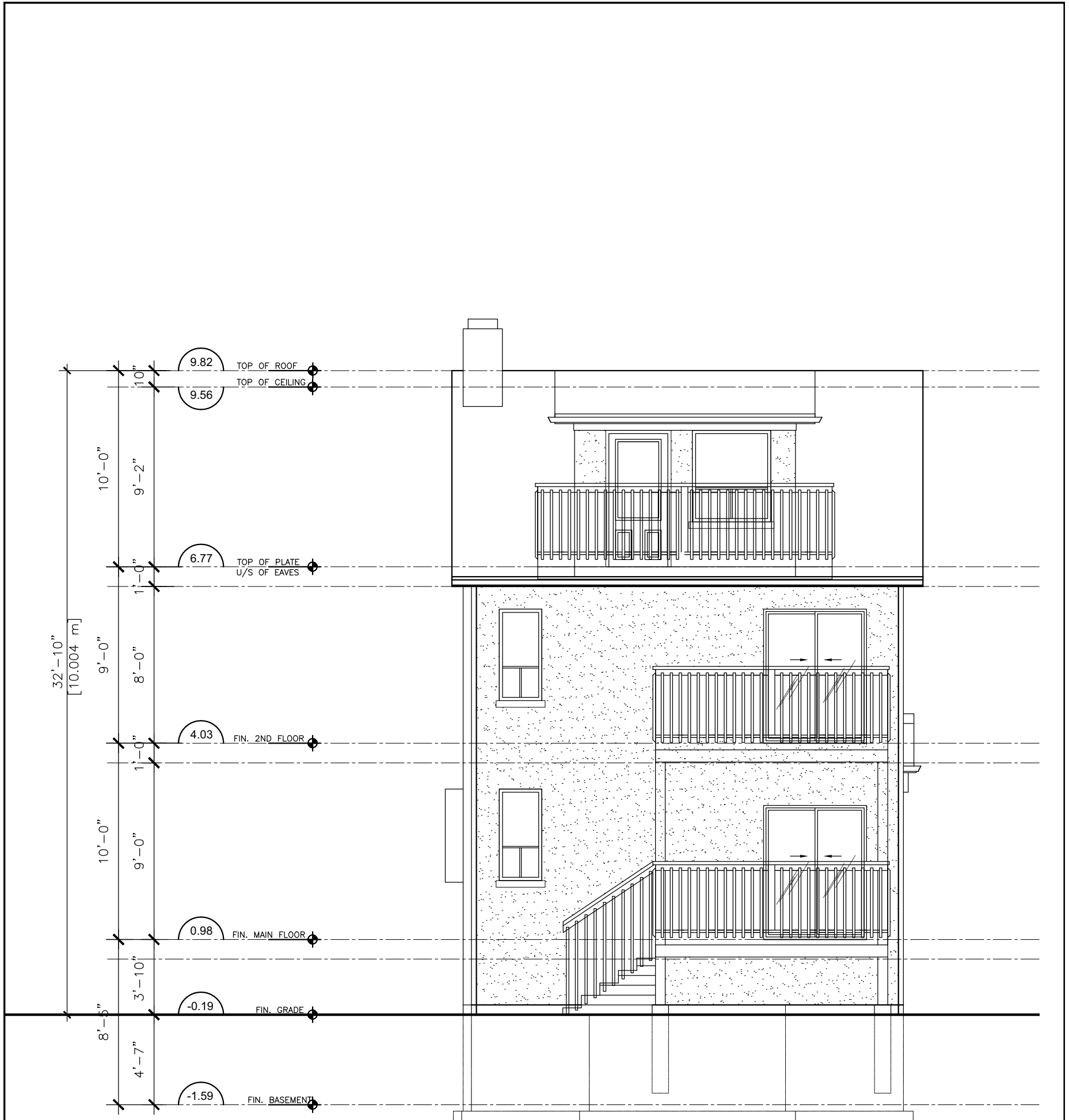
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A7



EXISTING REAR ELEVATION

1
A8

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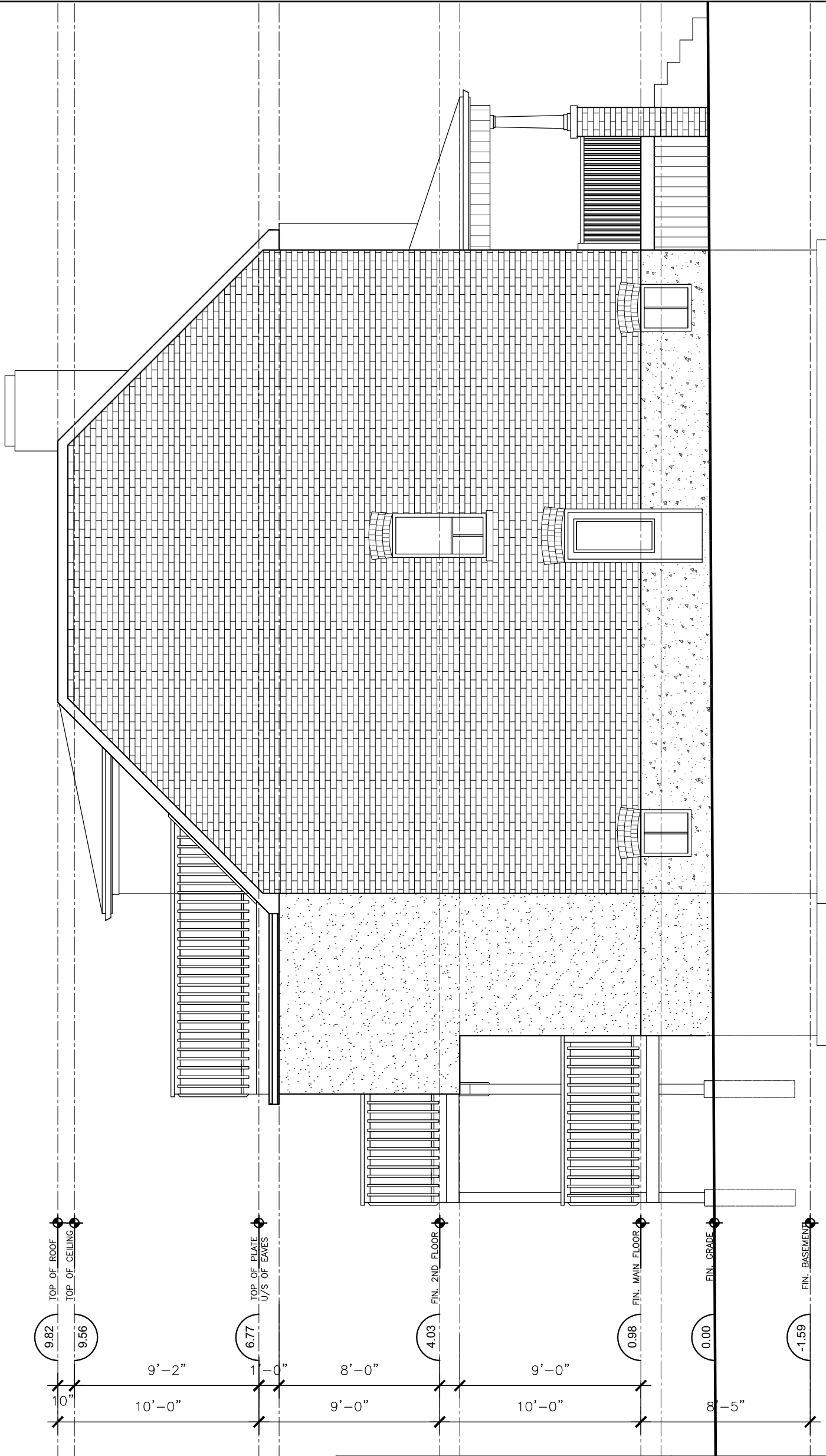
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A8



EXISTING LEFT SIDE ELEVATION

1
A9

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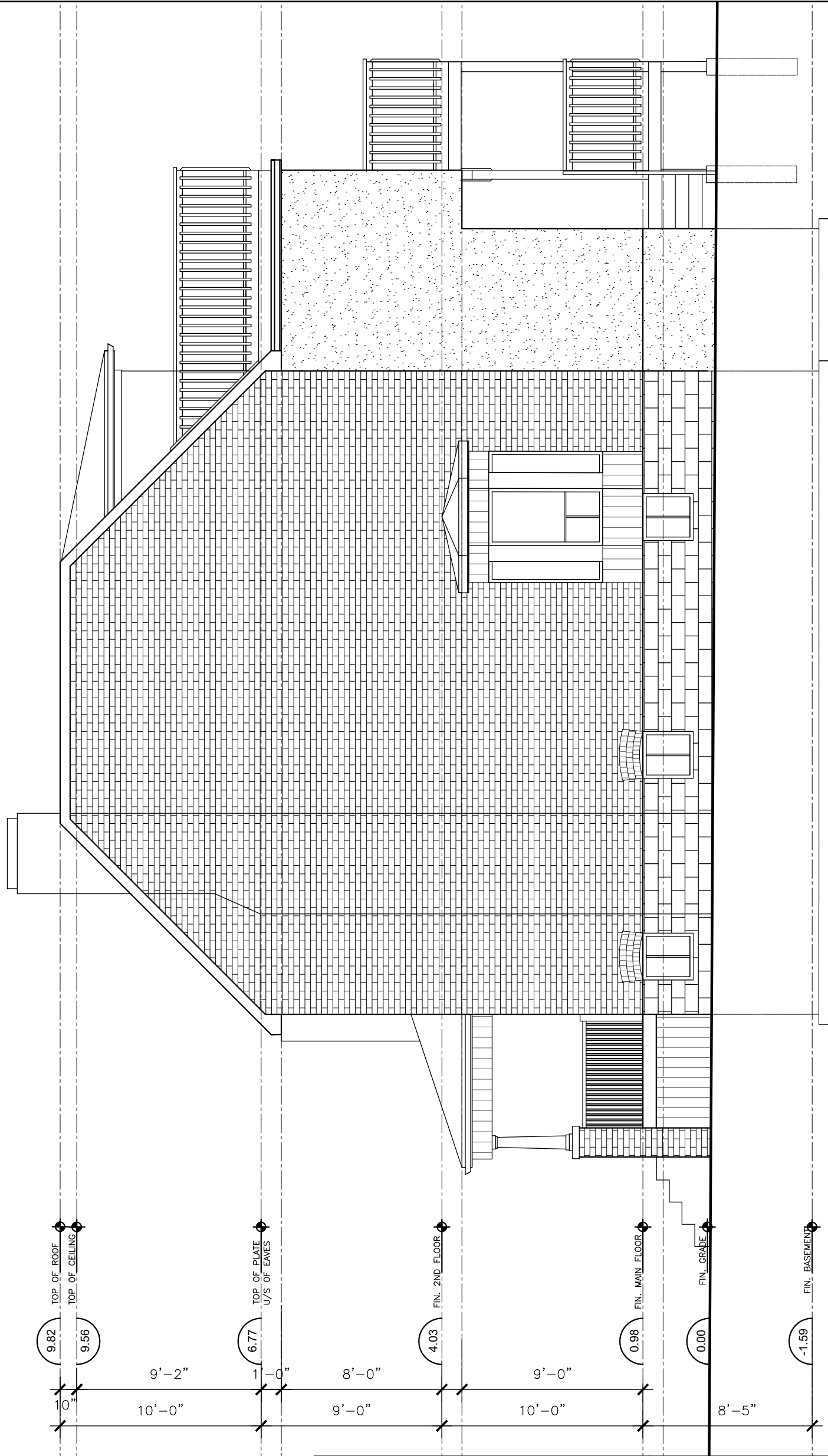
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A9



EXISTING RIGHT SIDE ELEVATION

1
A10

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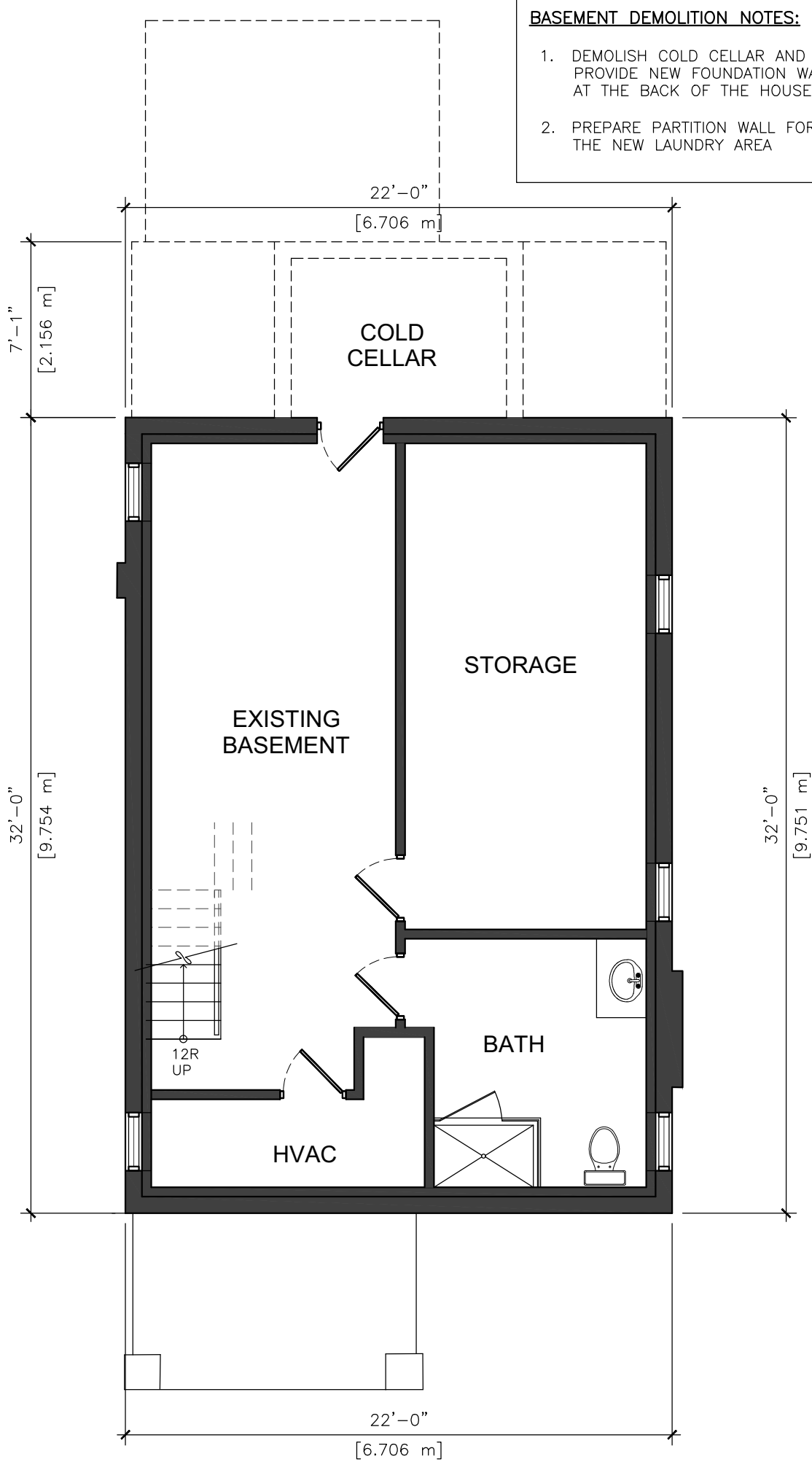
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A10

BASEMENT DEMOLITION NOTES:

1. DEMOLISH COLD CELLAR AND PROVIDE NEW FOUNDATION WALL AT THE BACK OF THE HOUSE.
2. PREPARE PARTITION WALL FOR THE NEW LAUNDRY AREA



1
A11

BASEMENT DEMO PLAN

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DEMO PLAN


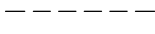
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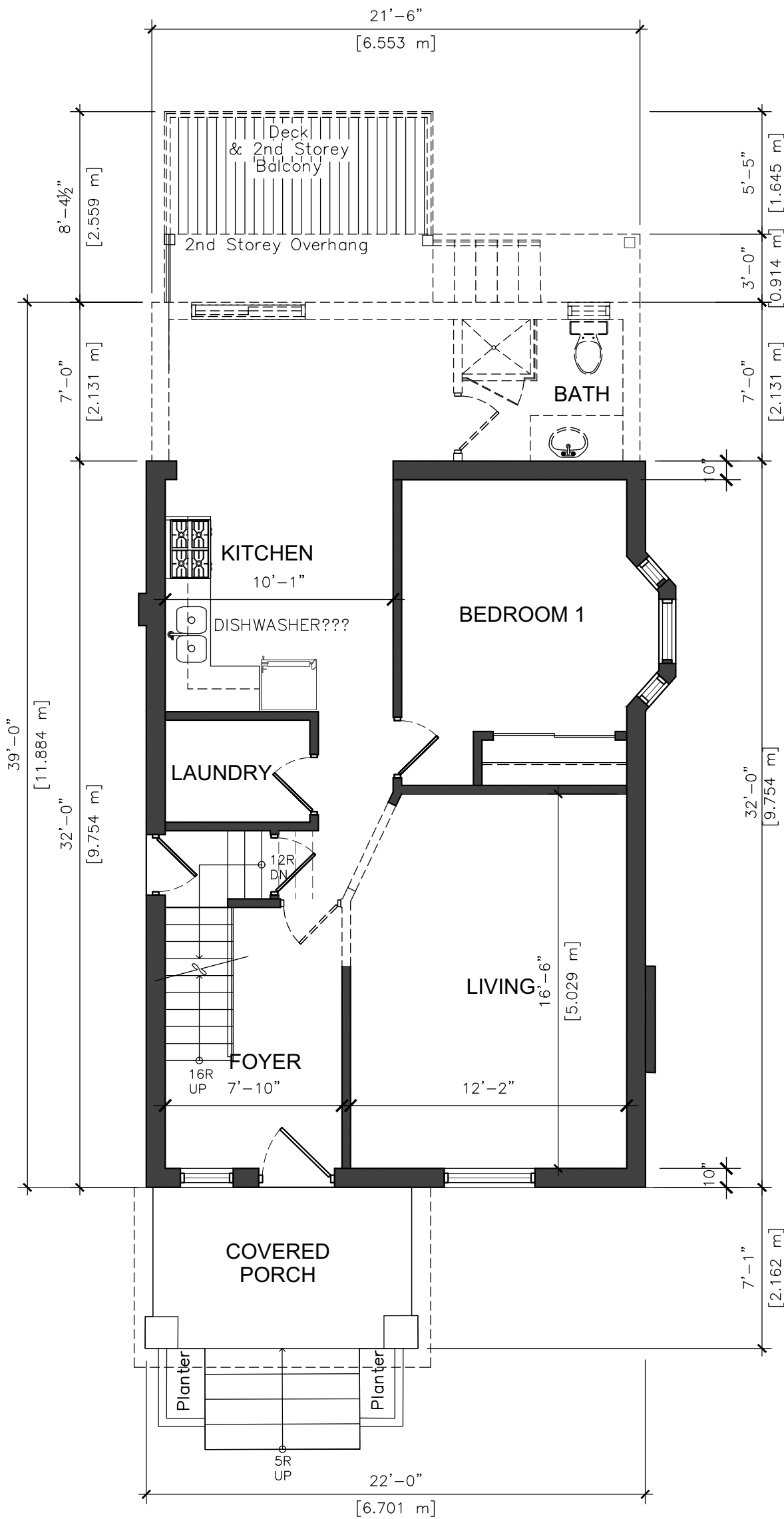
Dwg. No.
A11

LEGEND:

-  - EXISTING WALL
-  - WALL TO BE DEMOLISHED

NOTE: REMOVE AND REPLACE

- ALL EXISTING INTERIOR DRYWALLS/PROVIDE WITH NEW FINISHES
- ALL EXISTING WINDOWS AND DOORS AT THE BACK OF THE HOUSE



GROUND AND 2ND FLR DEMOLITION NOTES:

1. REMOVE EXISTING WOOD FLOORING AND SUBFLOOR BOARDS, PROVIDE NEW PLYWOOD SUBFLOOR.
2. REMOVE DOORS & WINDOW TRIM CASINGS & BASEBOARDS THROUGHOUT.
3. DEMOLISH WINDOW JAMB & TRIM AND BASEBOARDS. PREPARE FOR NEW.
4. CUT AND CAP ALL PLUMBING AND GAS PIPES AS REQUIRED DURING DEMOLITION.
5. REMOVE ALL ELECTRICAL RECEPTACLES AND WIRING TO THE ELECTRICAL PANEL.
6. REMOVE ALL CEILING AND PROVIDE NEW.

GROUND FLOOR DEMO PLAN

1
A12

SCALE : 3/16" = 1'-0"

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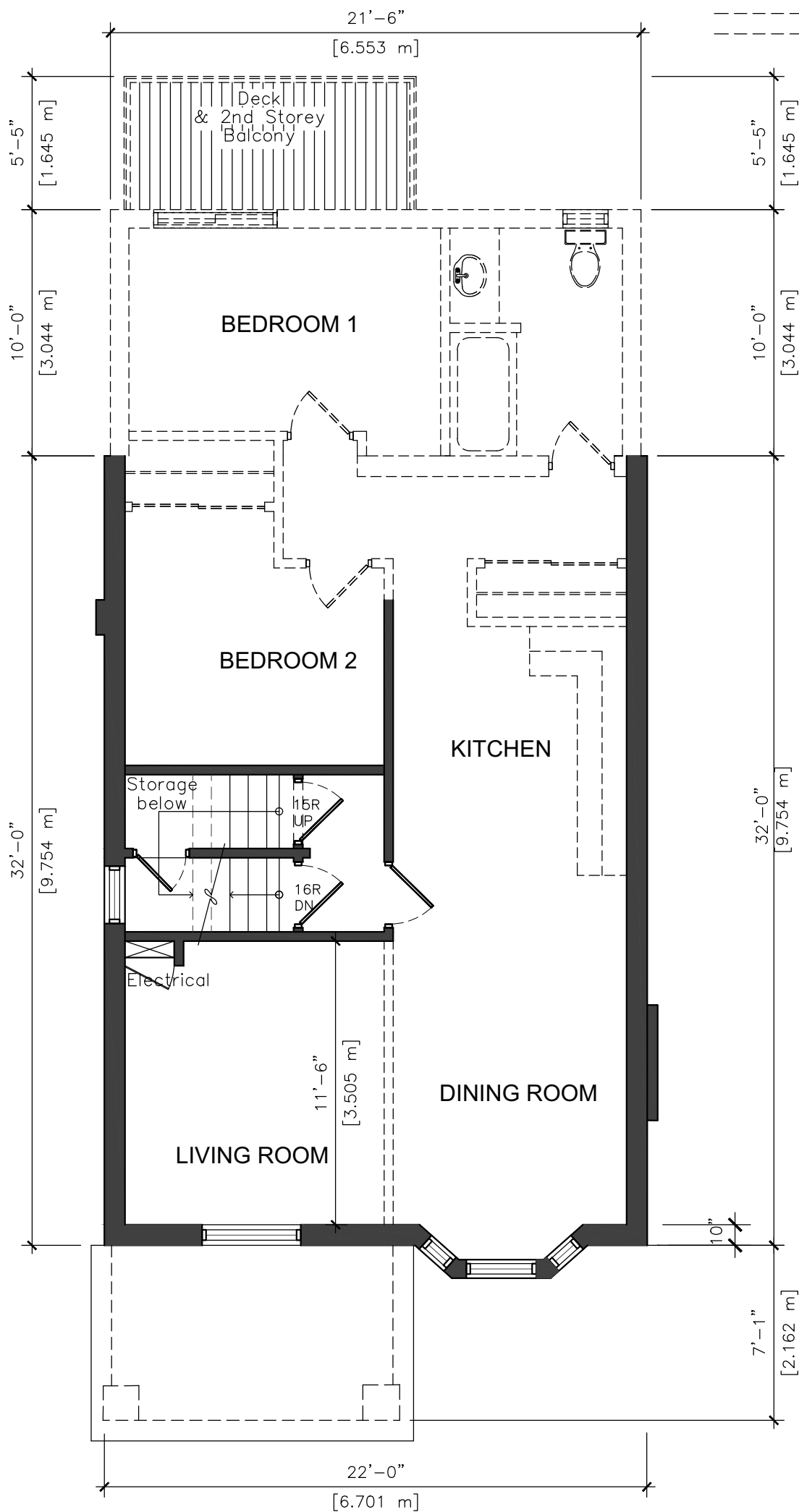
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A12

LEGEND:

- EXISTING WALL
- WALL TO BE DEMOLISHED

NOTE: REMOVE AND REPLACE

- ALL EXISTING INTERIOR DRYWALLS/PROVIDE WITH NEW FINISHES
- ALL EXISTING WINDOWS AND DOORS AT THE BACK OF THE HOUSE



- GROUND AND 2ND FLR DEMOLITION NOTES:**
1. REMOVE EXISTING WOOD FLOORING AND SUBFLOOR BOARDS, PROVIDE NEW PLYWOOD SUBFLOOR.
 2. REMOVE DOORS & WINDOW TRIM CASINGS & BASEBOARDS THROUGHOUT.
 3. DEMOLISH WINDOW JAMB & TRIM AND BASEBOARDS. PREPARE FOR NEW.
 4. CUT AND CAP ALL PLUMBING AND GAS PIPES AS REQUIRED DURING DEMOLITION.
 5. REMOVE ALL ELECTRICAL RECEPTACLES AND WIRING TO THE ELECTRICAL PANEL.
 6. REMOVE ALL CEILING AND PROVIDE NEW.

SECOND FLOOR DEMO PLAN

1
A13

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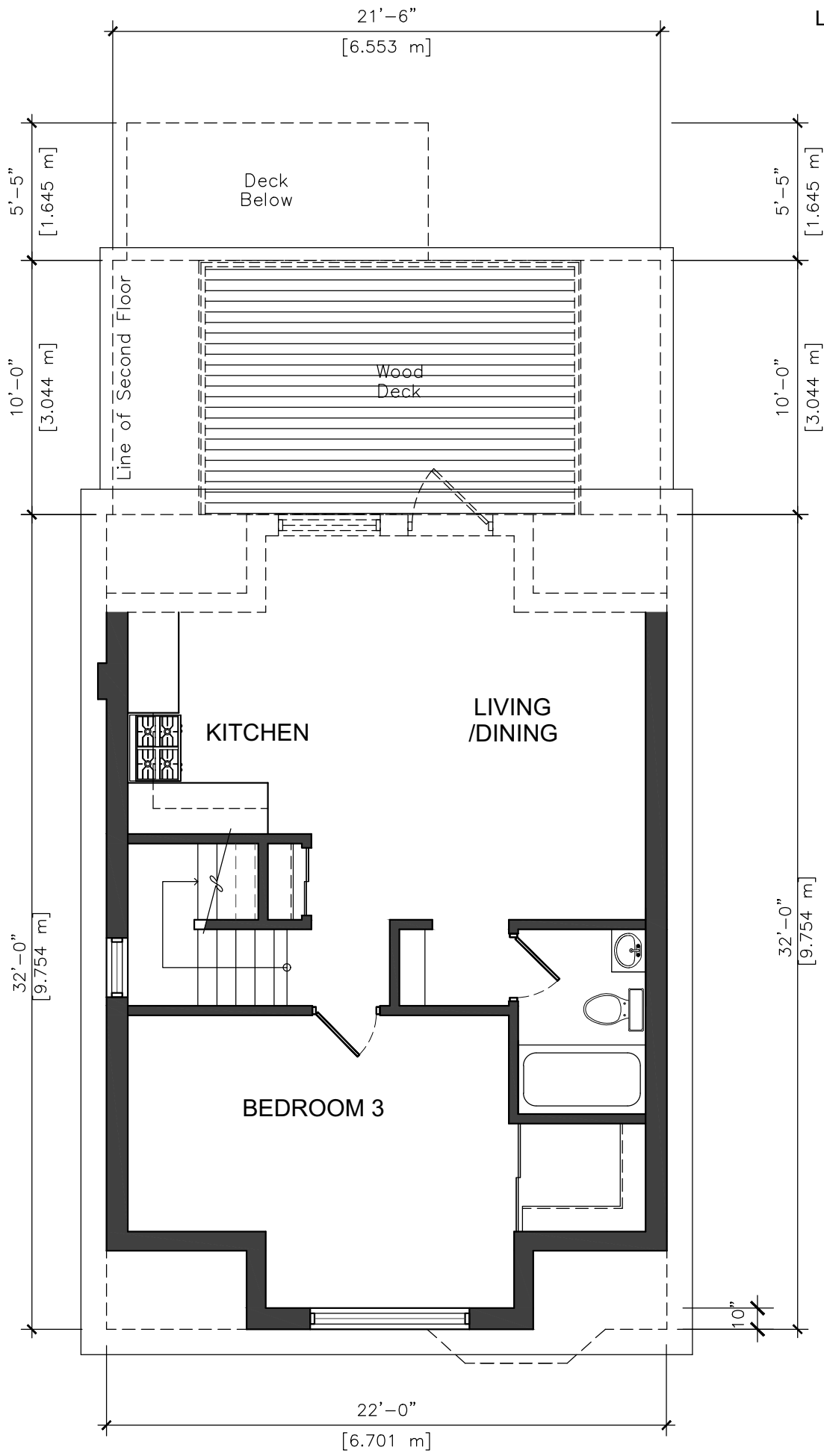
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Dwg. No.
A13



LEGEND:

- EXISTING WALL
- WALL TO BE DEMOLISHED

2ND AND ATTIC DEMOLITION NOTES:

1. REMOVE EXISTING WOOD FLOORING AND SUBFLOOR BOARDS. PROVIDE NEW PLYWOOD SUBFLOOR.
2. REMOVE DOOR & WINDOW TRIM CASINGS & BASEBOARDS THROUGHOUT.
3. DEMOLISH WINDOW JAMB & TRIM AND BASEBOARDS, PREPARE FOR NEW.
4. REMOVE ALL ELECTRICAL RECEPTACLES AND WIRING TO THE ELECTRICAL PANEL.
5. REPAIR AND MAKE GOOD ALL CEILINGS AND PROVIDE NEW AT NEW ROOF PORTION.

THIRD FLOOR DEMO PLAN


1
A14

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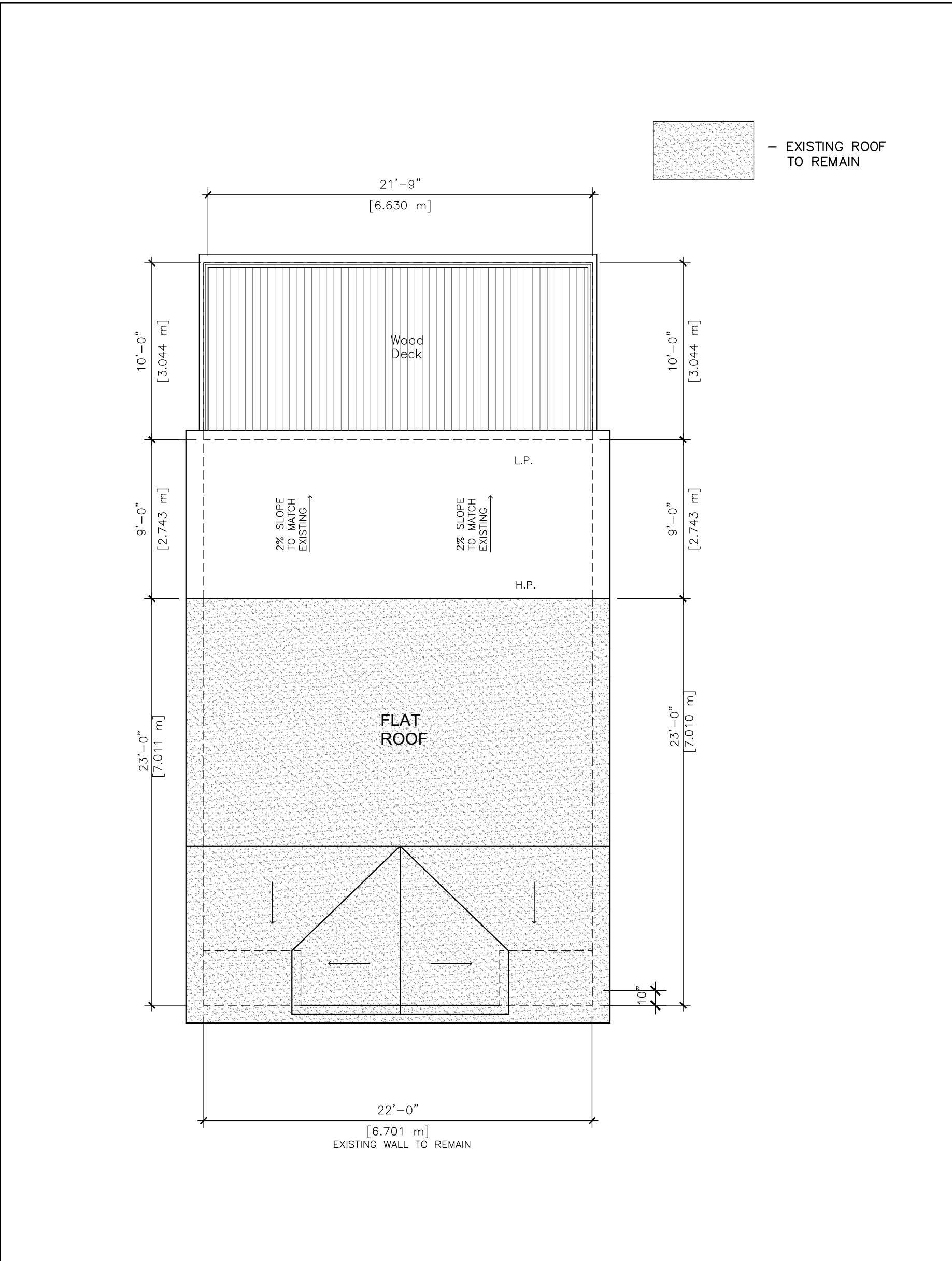
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A14



1
A15

ROOF DEMO PLAN

SCALE : 3/16" = 1'-0"

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THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:




 GIANCARLO GAROFALO ARCHITECT
 943 ST. CLAIR AVE. WEST
 TORONTO, ON. M6C 1C7
 Tel: 416 531-1265 Fax: 416 531-4733
 Email: info@ggarchitect.ca

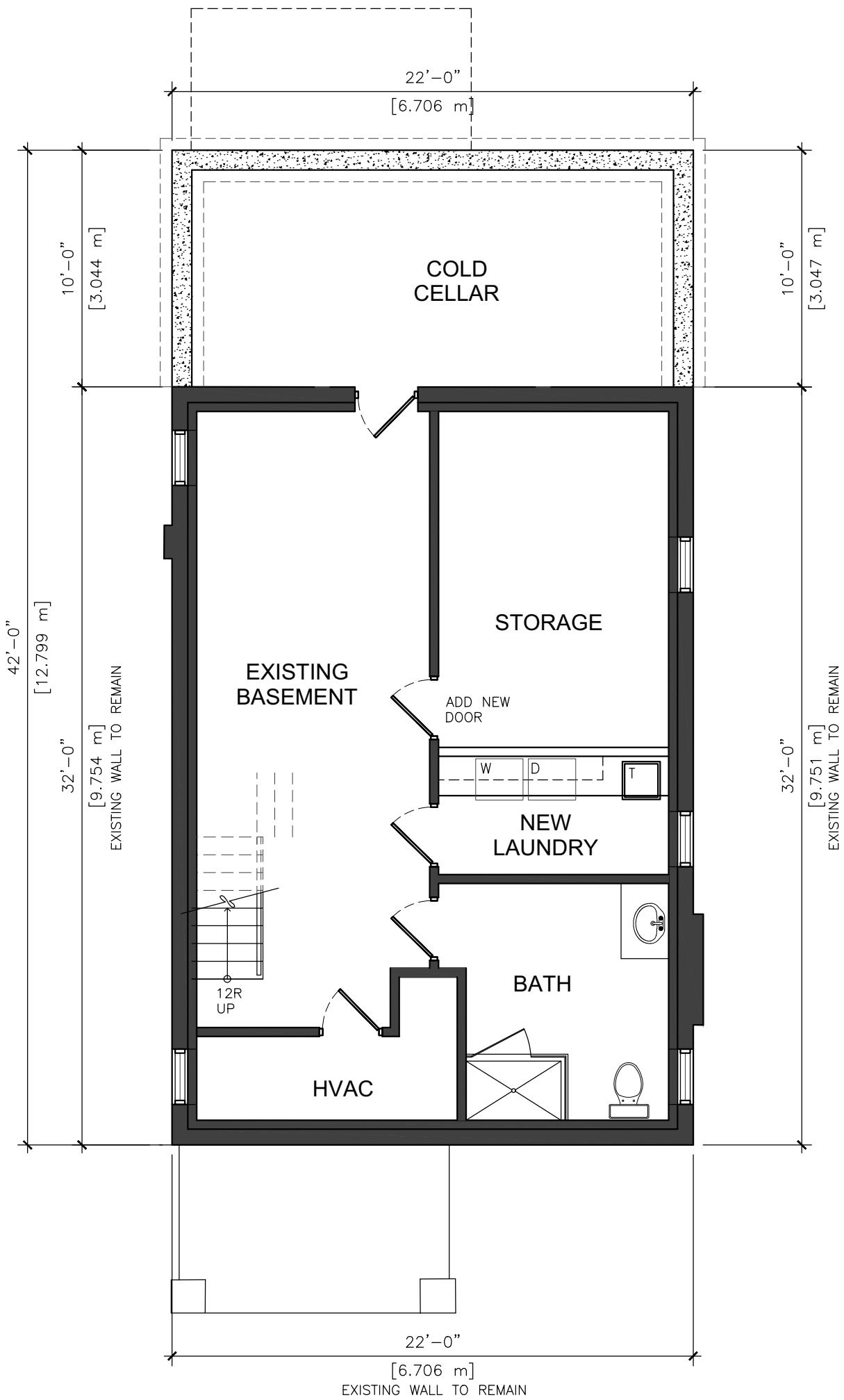
Title:
**74 WESTMOUNT AVE.
TORONTO, ON**

Sheet Title:
DEMO PLAN

No.	Revision	Date
1	ISSUED FOR REVIEW	OCT. 30, 2017
2	ISSUED FOR PPR	APR. 12, 2018
3	Issued for Zoning Certificate	AUG. 20, 2018

Drawn: J.C.
 Checked: G.G.
 Date: SEPT. 2017

Scale:
 Dwg. No.
A15



1
A16

BASEMENT FLOOR PLAN

SCALE : 1/8" = 1'-0"

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Title:
**74 WESTMOUNT AVE.
TORONTO, ON**

Sheet Title:
**PROPOSED
PLAN**


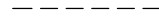
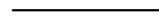
No.	Revision	Date
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2	ISSUED FOR PPR	APR. 12, 2018
3	Issued for Zoning Certificate	AUG. 20, 2018

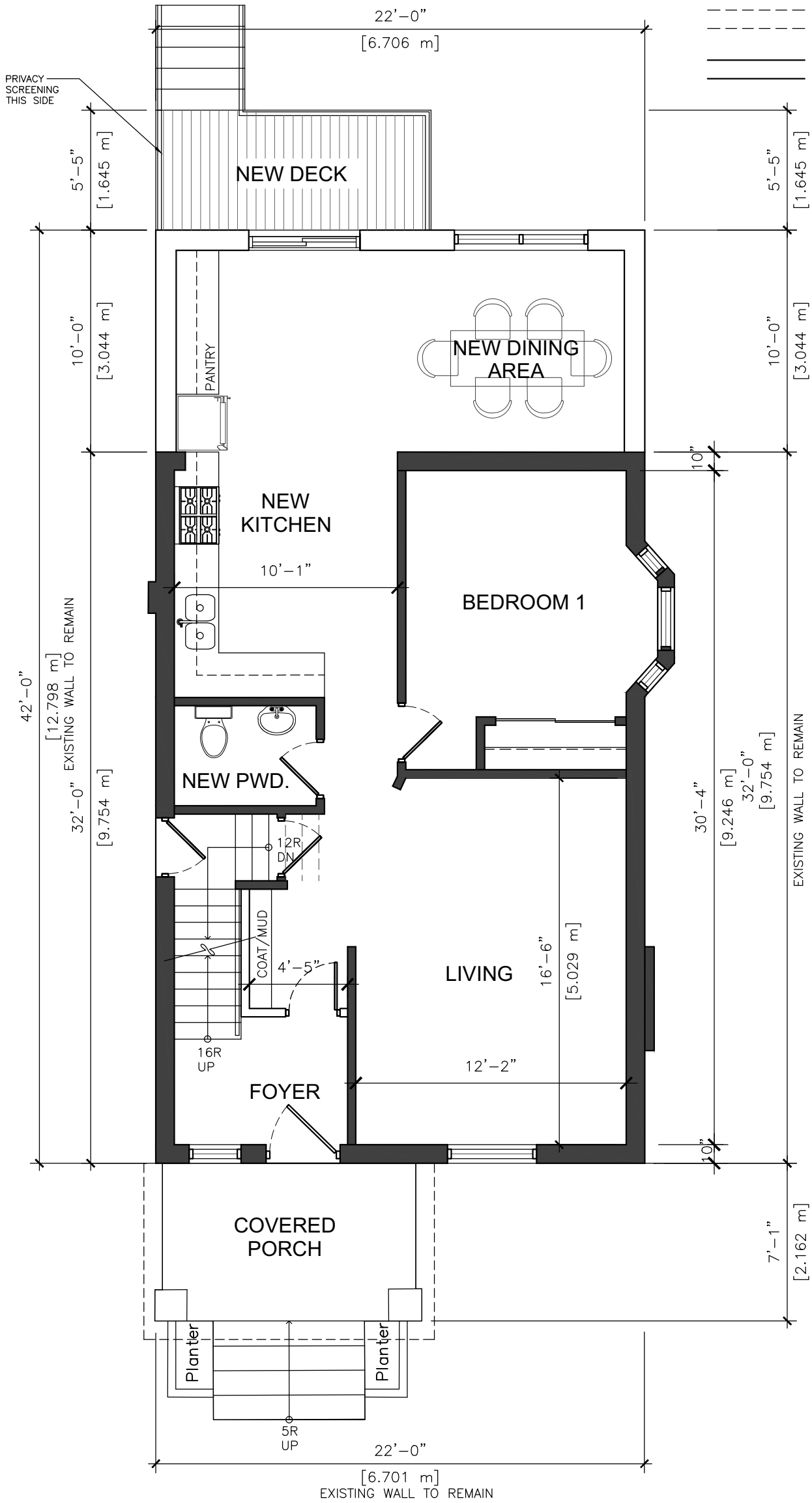
Drawn:
J.C.
Checked:
G.G.
Date:
SEPT. 2017

Scale:

Dwg. No.
A16

LEGEND:

-  - EXISTING WALL TO REMAIN
-  - WALL TO BE DEMOLISHED
-  - NEW WALL



1
A17

GROUND FLOOR PLAN

SCALE : 1/8" = 1'-0"

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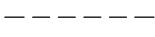
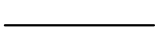
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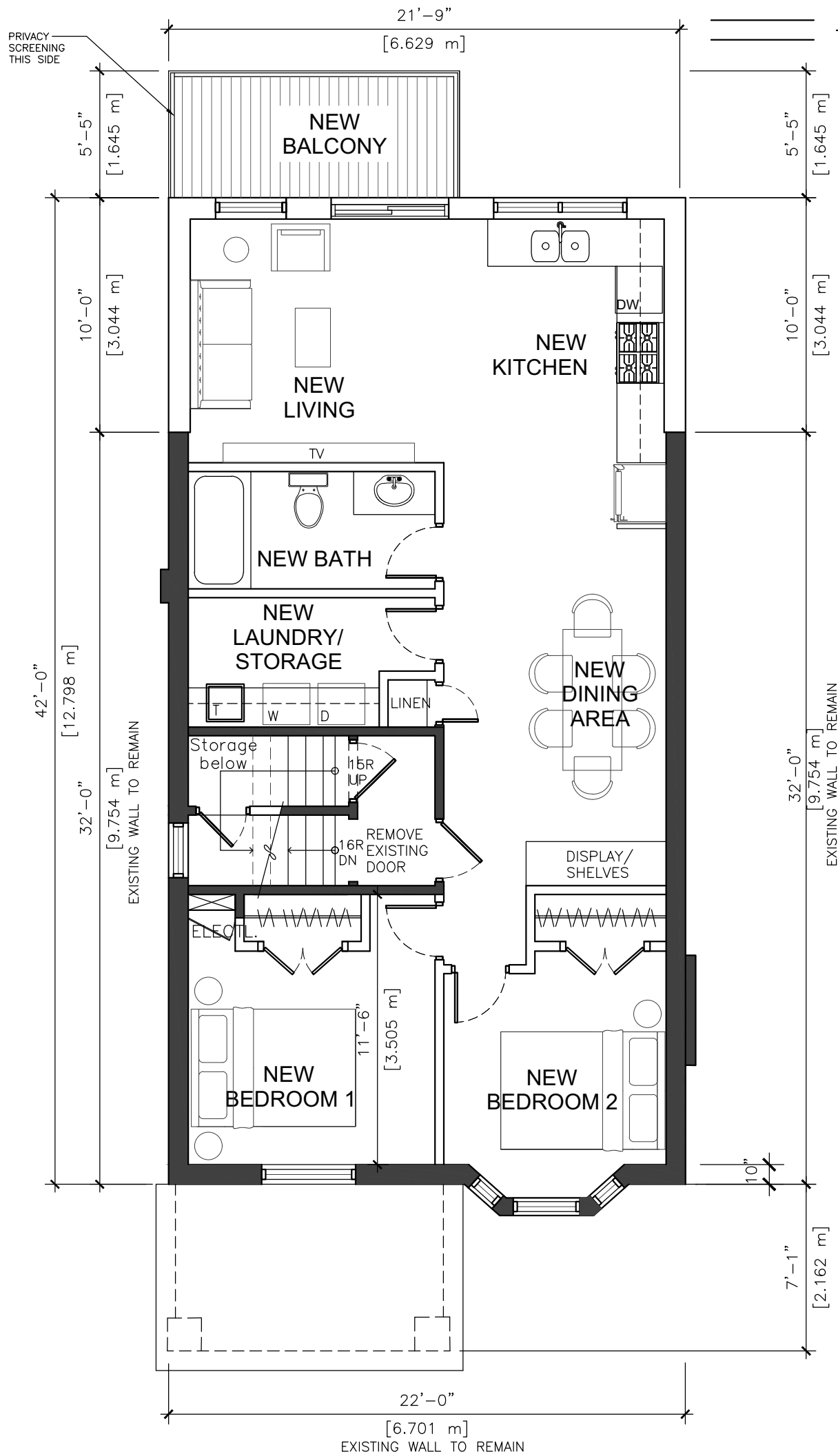
No.	Revision	Date	Drawn:
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2	ISSUED FOR PPR	APR. 12, 2018	Checked:
3	Issued for Zoning Certificate	AUG. 20, 2018	G.G.
			Date:
			SEPT. 2017

Scale:

Dwg. No.
A17

LEGEND:

-  - EXISTING WALL TO REMAIN
-  - WALL TO BE DEMOLISHED
-  - NEW WALL



1
A18

SECOND FLOOR PLAN

SCALE : 1/8" = 1'-0"

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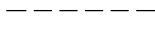
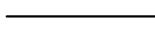
No.	Revision	Date	Drawn:
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3	Issued for Zoning Certificate	AUG. 20, 2018	G.G.
			Date:
			SEPT. 2017

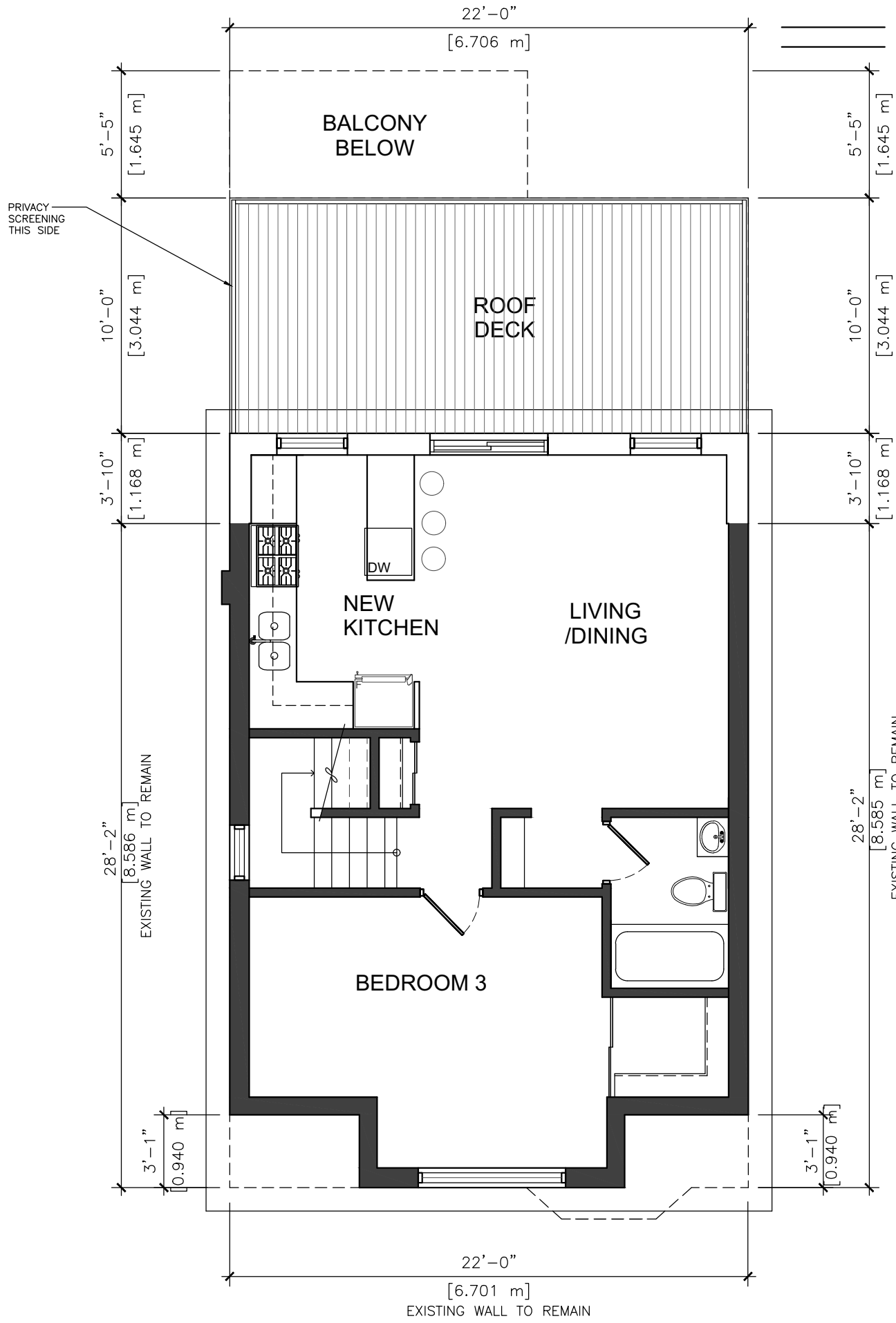
Scale:

Dwg. No.

A18

LEGEND:

-  - EXISTING WALL TO REMAIN
-  - WALL TO BE DEMOLISHED
-  - NEW WALL



1
A19

THIRD FLOOR PLAN

SCALE : 1/8" = 1'-0"

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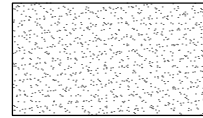
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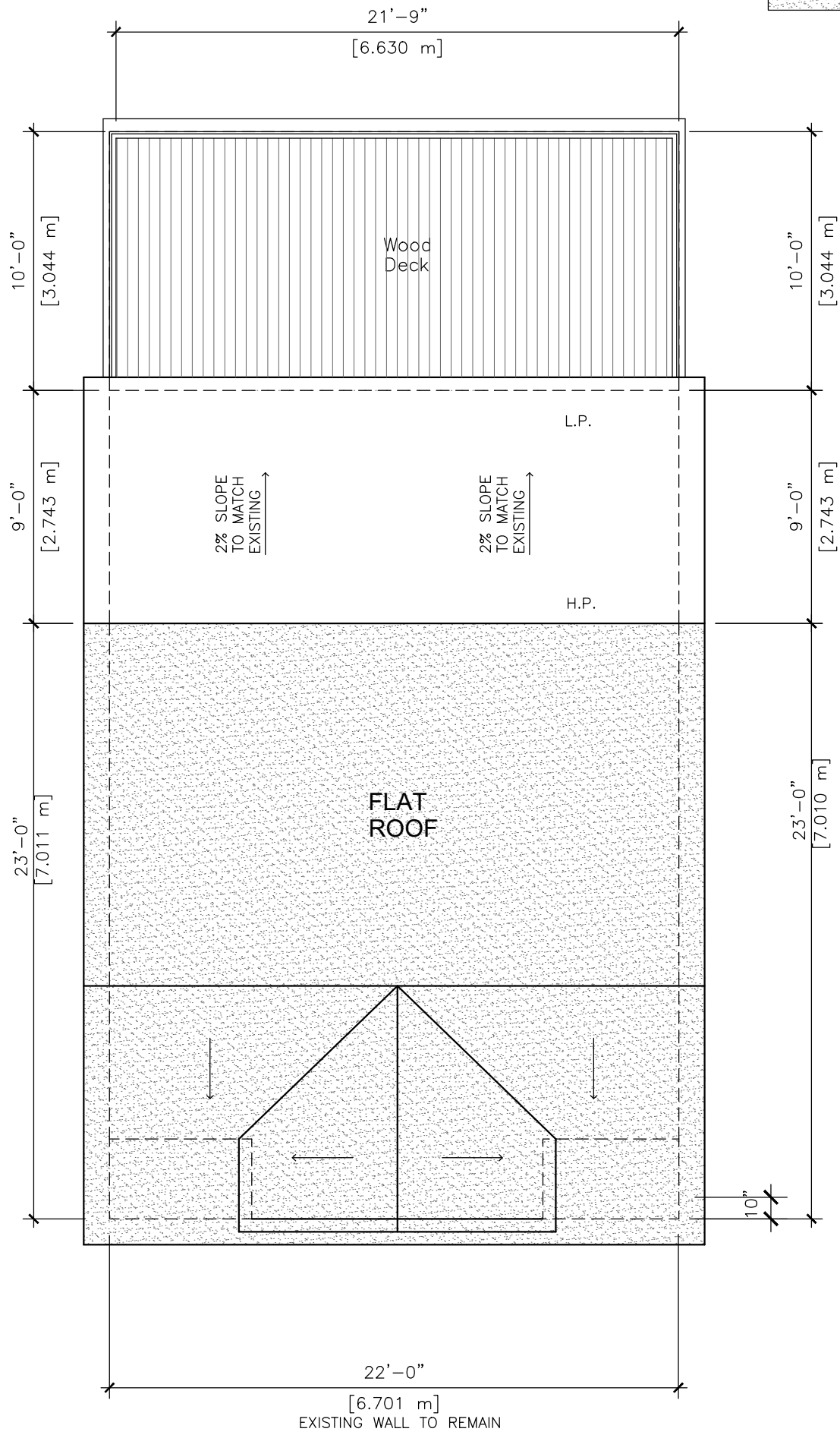
Scale:

Dwg. No.

A19



EXISTING ROOF TO REMAIN



1
A20

ROOF PLAN

SCALE : 1/8" = 1'-0"

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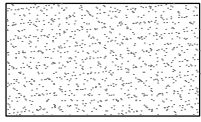
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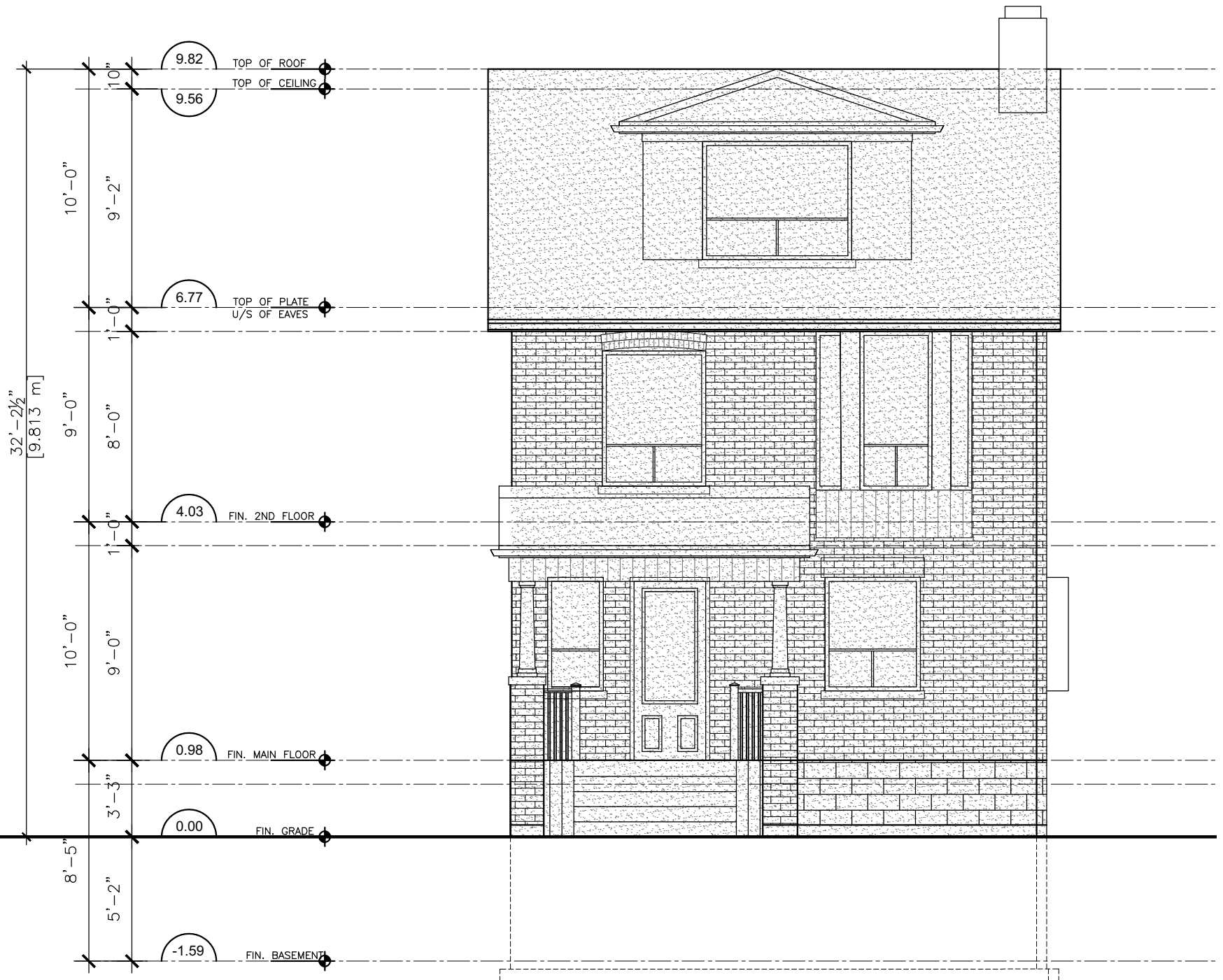
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Dwg. No.

A20



— EXISTING TO REMAIN



1
A21

FRONT ELEVATION

SCALE : 1/8" = 1'-0"

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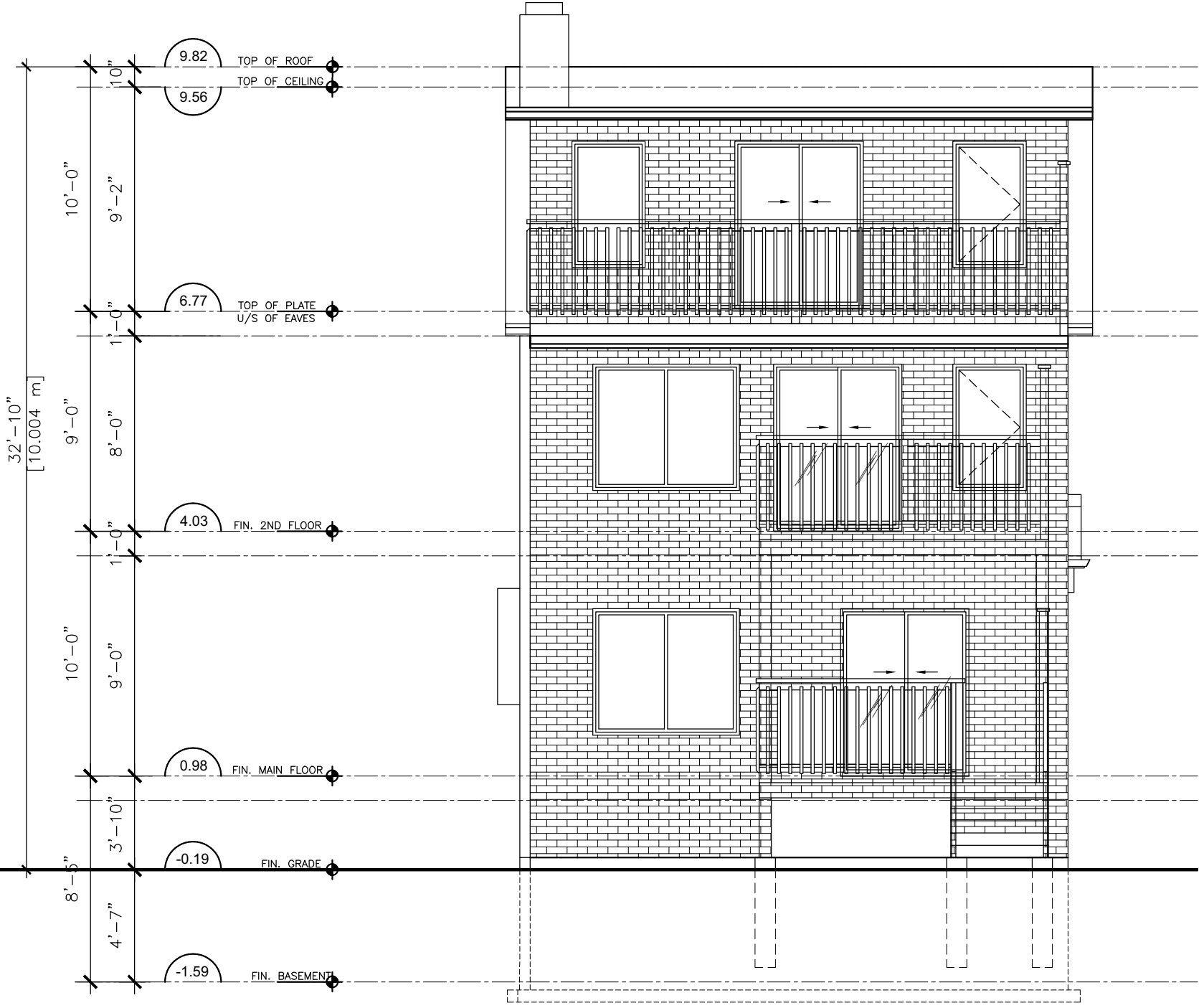
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Drawn:
J.C.
Checked:
G.G.
Date:
SEPT. 2017

Scale:

Dwg. No.

A21



1
A22

REAR ELEVATION

SCALE : 1/8" = 1'-0"

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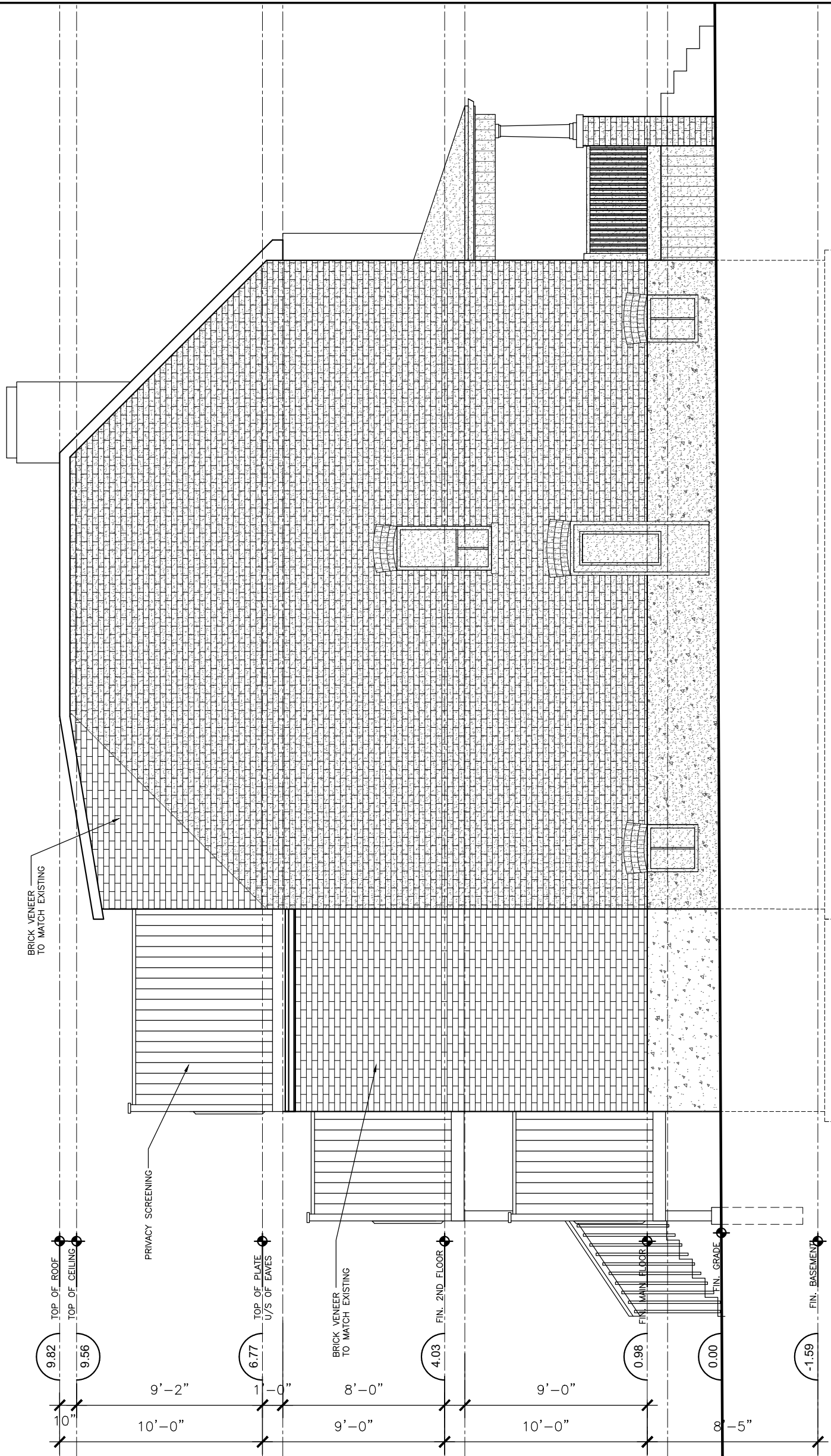
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 Date:
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Scale:

 Dwg. No.
A22



— EXISTING TO REMAIN

TOP OF ROOF 9.82
 TOP OF CEILING 9.56
 TOP OF PLATE U/S OF EAVES 6.77
 FIN. 2ND FLOOR 4.03
 FIN. MAIN FLOOR 0.98
 FIN. GRADE 0.00
 FIN. BASEMENT -1.59

9'-2"
 1'-0"
 8'-0"
 9'-0"
 10'-0"
 8'-5"

1
 A23

LEFT-SIDE ELEVATION

SCALE : 1/8" = 1'-0"

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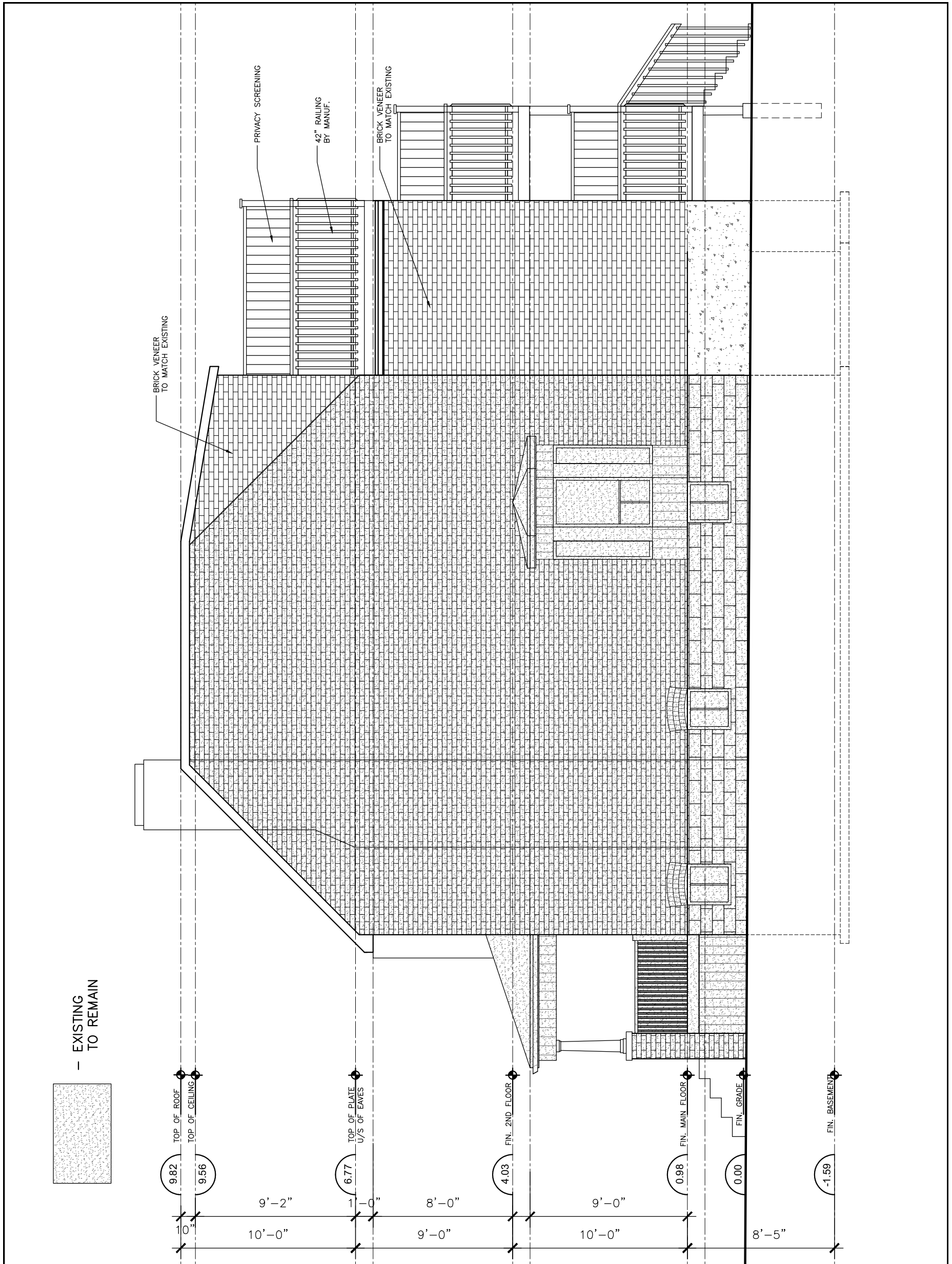
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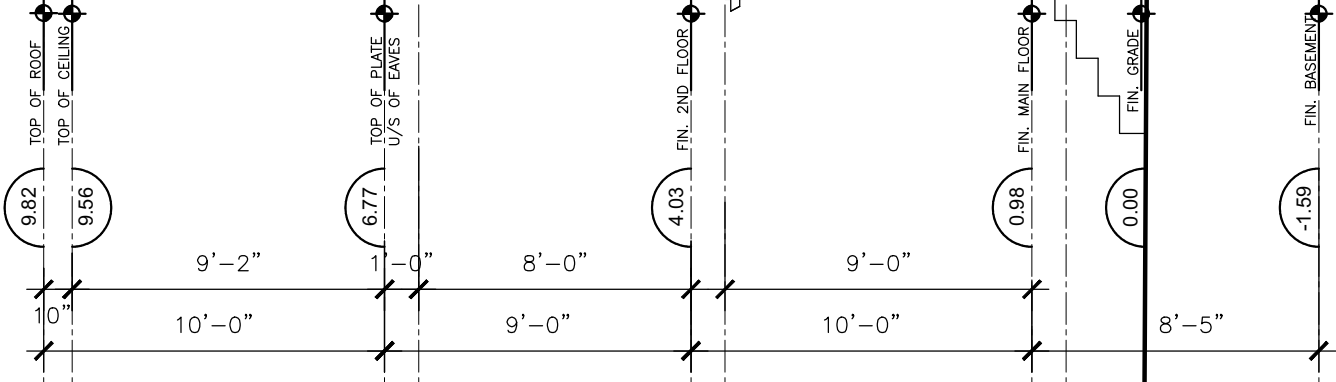
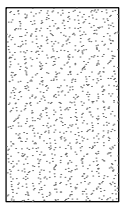
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Scale:
 Dwg. No.
A23



— EXISTING TO REMAIN



1
A24

RIGHT-SIDE ELEVATION

SCALE : 1/8" = 1'-0"

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Drawn:
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Checked:
G.G.
Date:
SEPT. 2017

Scale:

Dwg. No.
A24